



City of Goshen Board of Public Works & Safety

Regular Meeting Agenda

4:00 p.m., SEPTEMBER 3, 2026

Goshen Police & Court Building, 111 East Jefferson Street, Goshen, Indiana

To access online streaming of the meeting, go to <https://goshen.in.gov/events/>

Call to Order by Mayor Gina Leichty

Approval of Minutes: August 27, 2026 meeting

Approval of Agenda

1) Mayor Leichty request: Acknowledge that \$200,000 of the original \$250,000 loan principal amount to LaCasa of Goshen, Inc. has been forgiven, leaving a remaining principal balance of \$50,000

2) Open bids received from contractors for: The 2026 Asphalt Paving Package C - Chip and Seal project, read the bid total amounts and refer bids to the Engineering Department

3) Fire Department request: Approve the promotion of **Matthew Yutzy** from the rank of Probationary Firefighter to Private First Class with the Goshen Fire Department, retroactive to Aug. 25, 2026

4) Fire Department request: Acknowledge and accept the resignation of **Probationary Firefighter Ben Snider** from the Goshen Fire Department, effective Sept. 2, 2026

5) NIPSCO request: Approve a new series of road closures for the NIPSCO Distribution Automation (DA) project

6) Water & Sewer Office request: Move \$1,392 in uncollected finalized accounts from active to collection, sewer liens and write-offs for the period through June 11, 2026

7) Water Treatment & Sewer Collection Department request: Approve the temporary closure of South 8th Street, between Plymouth Avenue and Jackson Street, from Sept. 8-11, 2026, for the installation of a sanitary sewer service connection at 911 South 8th Street

8) Water Treatment & Sewer Collection Department public announcement: The Fall Hydrant Flushing Program will begin Monday, Sept. 28 and continue through Friday, Oct. 2, 2025, weather permitting

9) Engineering Department request: Approve Change Order No. 11 and Change Order No. 12 for the Steury Avenue and Lincoln Avenue Reconstruction and Drainage Improvements

Privilege of the Floor



REVIEW/COMPLIANCE HEARINGS FOR BUILDING COMMISSIONER ORDERS

4:00 p.m., Sept. 3, 2026

Goshen Police Building, 111 East Jefferson Street, Goshen, Indiana

Members: Mayor Leichty, Mike Landis, Orv Myers, Mary Nichols, Barb Swartley

10) Public Nuisance/Unsafe Building hearing on Building Commissioner Order:

517/519 New York Street for public nuisance conditions as well as building code violations at the residential structures on the property (Unique Property Leasing, LLC, property owner)

11) Unsafe Building hearing on Building Commissioner Order:

1006 Zollinger Road for vacant residential structure in need of exterior clean up and internal repairs violations of Goshen City Code as to the current condition of the duplex (J. Bowers, LLC, property owner)

Approval of Civil City and Utility Claims

Adjournment



CITY OF GOSHEN BOARD OF PUBLIC WORKS & SAFETY
MINUTES OF THE AUGUST 27, 2026 REGULAR MEETING
Convened in the Goshen Police Building, 111 East Jefferson St., Goshen, Indiana

Present: Mayor Gina Leichty, Mike Landis, Orv Myers, Mary Nichols and Barb Swartley

Absent:

Call To Order: Mayor Leichty called the meeting to order at 4:00 p.m.

REVIEW/APPROVE MINUTES: Mayor Leichty presented the minutes of the August 20, 2026 meeting as prepared by Clerk-Treasurer Richard R. Aguirre. Board member Barb Swartley made a motion to approve the minutes as presented. Board member Mike Landis seconded the motion. The motion passed 5-0.

REVIEW/APPROVE AGENDA: Mayor Leichty presented the agenda as prepared by the Clerk-Treasurer. Board member Swartley made a motion to approve the agenda as presented. Board member Landis seconded the motion. The motion passed 5-0.

1) Police Department request: Accept the resignation of Probationary Police Officer Gavin Guajardo from the Goshen Police Department, effective Aug. 10, 2026

City Police Chief Andy Stephenson asked the Board accept the resignation of Probationary Police Officer Gavin Guajardo from the Goshen Police Department, effective Aug. 10, 2026, which was his last day of service.

Chief Stephenson said, "Officer Guajardo joined the Police Department in early July. He cited a desire to return to active duty in the United States military as the reason for his resignation. He had not yet completed basic training at the Indiana Law Enforcement Academy.

Chief Stephenson added, "Probationary Police Officer Guajardo's brief service with the City of Goshen was appreciated. We wish him the best of luck in his future endeavors."

In his letter of resignation, Officer Guajardo wrote, "I, Gavin E. Guajardo, hereby resign from my position at the Goshen Police Department to continue to pursue a career in the U.S. Army."

Swartley/Landis made a motion to accept the resignation of Probationary Police Officer Gavin Guajardo from the Goshen Police Department, effective Aug. 10, 2026. The motion passed 5-0.

2) James Loewen request: Approve the construction of a small boat/canoe launch along the Millrace behind the home at 615 River Race Drive

James Lowen of Goshen asked the Board for permission to build a small boat/canoe launch along the bank behind River Race Drive. He said he was acting as the builder for his sister-in-law, Nancy Loewen, who lives at 615 River Race Drive. The launch would be in her backyard, along the Millrace.

Loewen said the structure would be about 8 feet long, comprising about 5 or 6 steps, 3 feet across, in wood, with a narrow landing at the bottom which would serve as a dock for boarding a canoe. He said it would be similar in design to the public landing which is now used for fishers and canoeists and is located on the west bank of the Millrace between the Jefferson Street bridge and Washington Street.

In his written request to the Board, Lowen wrote that the launch would consist of two parallel 2 x 8 planks which would hold the steps between them and be laid on top of the embankment, with some minor terrain smoothing to allow the planks to lie flat in the plane of the embankment (about 40 degrees from horizontal). These planks would be held in place with four metal stakes driven into the embankment and screwed to the outsides of the planks. In addition, Loewen planned to have one or two helical anchors securing the top end of the stairs to the embankment.



Loewen wrote that the narrow landing at the bottom of the stairs would be cantilevered and jut about 12 to 18 inches over the water, so that the structure would not actually touch the water at all. The top surface of the landing would be about 10 inches above the surface of the water. He planned to have one two-foot high 4x4 post at one corner of the landing to help people enter and exit canoes or kayaks.

Loewen wrote that the goal was to build a structure that would last five to twenty years and allow his sister-in-law and others to enjoy her canoe and the canal flowing past her house. He indicated the launch would be maintained in useful and safe condition.

Loewen wrote that he has consulted on this project with the **City Engineering Department** since May 2026. At the Engineering Department's recommendation, **Loewen** wrote that he planned to use metal stabilizing stakes instead of wooden 2-foot by 4-foot lumber.

Loewen also wrote that **City Planning and Zoning Administrator Rhonda Yoder** commented that if the Board approved the easement/bank encroachment for the launch, it needed to be "based on there being no interference with the ability to maintain the canal and canal bank through the 20-foot canal maintenance easement along the bank of the Millrace Canal. Lowen pledged that there would be no interference with City needs and the launch would be moved aside if the City needed access to that spot.

Loewen added that **City Director of Redevelopment Becky Hutsell** commented in an email that the City did not conduct remediation along the bank because the site was expanded using fill over the years and there was concern with excavation within the bank. Hutsell asked if excavation would be needed to install the launch. **Loewen** replied that there would be "some limited excavation essentially to smooth the slope of the bank to allow the sloped rails to lie on the ground."

After his presentation, **Board member Swartley** asked if **Loewen** had sought approval from the Indiana Department of Natural Resources, which she said was apparently necessary for any structure that if placed over the Millrace.

Loewen said he had not done so.

Mayor Leichty said she understood that Lowen sought guidance from the City Engineering Department on the requirements for a boat/canoe launch. She invited comments from **City Civil Engineer Brad Minnick**.

Minnick said that after reviewing **Loewen's** request, the Engineering Department was generally satisfied with the request but preferred that he identify to exact boat/canoe launch location. Because the **Loewen** home is part of a co-housing development, **Minnick** said Engineering would prefer that the launch be made available to other co-housing properties instead of having four individual launches built.

Minnick said that a launch would be an encroachment on the Millrace and if it needed to be removed for bank maintenance, the property owner would need to remove the structure in a timely fashion and at the owner's cost. In addition, **Minnick** also said ground disturbance needed to be kept at a minimum because the bank has not been cleaned in that area. So, Engineering would prefer the launch be placed on a levelling pad or platform instead of being secured through excavation.

In addition, going back to 2019, **Minnick** said the only instance of construction on the Millrace "was more of a maintenance function. It was not new construction. It was resetting an existing wall." He added that a more recent approval, as referenced by Board member **Swartley**, was by the state Department of Natural Resources.

Board member Swartley said that if other members of the co-housing development were also seeking a boat/canoe launch, "it would make sense" if they could work together and pay for a single launch.

James Lowen said he was unsure about building a launch on a platform or pad because he assumed it would need a foundation and some excavation. He said, "I don't know if I can commit to that because I don't really understand what that would entail. I simply need an explanation. I suppose. That might be a conversation better held offline."

Mayor Leichty responded, "That's part of my thinking for today. I mean, I don't feel like I'm prepared to make an assessment on engineering or design specifications for the project."



In response to **City Civil Engineer Minnick's** comment about construction along the Millrace, **Mayor Leichty** said, "There are docks up and down the Millrace and probably they just appeared overnight, and so there's certainly precedence for building this. I think it's commendable that he at least asked."

"So, I think as long as we're making sure that there's not a safety concern, I don't want to deliberate at the Board of Works the engineering specifications. I prefer that you guys come to some agreement and perhaps we could hear this next week and table it for today, unless that's going to really mess up your timeline."

James Loewen said, "I've already been waiting on this for three months, so another week or two, whatever." **Mayor Leichty** responded, "I'm sorry, James. That's a really long time." **Loewen** said, "It seems pretty long to me."

Nancy Loewen, the property owner, said she originally envisioned a canoe/boat launch very much like the one the City installed nearby and others on the Millrace with a few simple steps going down to the canal. She said, "I thought it was a very simple concept. It shouldn't be a big deal, but obviously, there's other things to consider."

Nancy Loewen said she is part of the co-housing development, but she has proposed a launch on her property. She said if the City wanted a single launch for the co-housing it should instead be on a nearby commonly owned property. **Loewen** added, "I was hoping to have something on my property, just like other people do along the canal."

Board member Swartley asked if the Board could approve the launch subject to approval by the Engineering Department. **Mayor Leichty** said she would be OK with that unless **Board member Landis** had a suggestion.

Board member Landis said, "When I read the request, I put on my engineering construction hat. I wasn't very worried about the approach because of all the other docks that are all along the Millrace." He said that if **James Lowen** could speak with him after the meeting he could suggest a workable design that would address the concerns. **Mayor Leichty** asked if there was a motion from the Board.

Swartley/Landis made a motion to approve the construction of a small boat/canoe launch along the Millrace at 615 River Race Drive subject to the approval of the Engineering Department. The motion passed 5-0.

3) Amy Worsham request: Approve the partial alley closure adjacent to 111 South 7th Street on Sept. 17, 2026, from 4-9 p.m., for a private party

Amy Worsham of Goshen asked the Board to approve a half-alley closure next to her home at 111 South 7th Street to host an event. The closure would be from 4 to 9 p.m. on Thursday, Sept. 17, 2026.

In response to a question from **Mayor Leichty**, **Worsham** said he has informed neighbors of the closure.

In a written request to the Board, **Worsham** asked for closure of the half block alley that runs east/west between the addresses of 111 and 113 South 7th Street. The north/south stretch of alley to the west would remain open.

Worsham further wrote that she would be hosting a private pizza party for Janus employees and special Janus owners at her home that evening, and she plans to set up additional seating and motorcycle parking in the alley.

Swartley/Landis made a motion to approve the partial alley closure adjacent to 111 South 7th Street on Sept. 17, from 4 to 9 p.m. for a private party. The motion passed 5-0.

4) Arts on the Millrace request: Approve the closure of River Race Drive, Sept. 11 and Sept 12, 2026, to support the alternate site for Arts on the Millrace 2026 due to a bridge closure

Brad Hunsberger, co-founder of Arts on the Millrace, asked the Board to approve an alternate location for the Arts on the Millrace, Sept. 11 and 12, 2026, due to the condition of the bridge adjacent to the usual site by the Hawks Building.

Hunsberger requested permission to close River Race Drive to utilize that piece of redevelopment property for the event. He said he has been in communication with the neighbors and they affirmed the request. He also said the event would not interfere with survey and other site work on the property.

Hunsberger confirmed that he had contacted **City Director of Redevelopment Becky Hutsell** about the use of the redevelopment property. He planned to ask the City Redevelopment Commission's approval on Sept. 8.



Swartley/Landis made a motion to approve the closure of River Race Drive, Sept. 11. and 12, to support the alternate site for Arts on Millrace 2026 due to a bridge closure.

Mayor Leichty asked if **Hunsberger** had relayed his street closure request to **City Street Commissioner David Gibbs**. **Hunsberger** said he had not yet done so.

Gibbs said the only thing he was worried about was that trash receptacles or a trash trailer has normally been requested for Arts on the Millrace and was unaware if they would be needed. **Hunsberger** said they would be needed, preferably behind a stage. He added that the festival will only last one day.

Board members then voted on the closure request and passed it unanimously, by a 5-0 vote.

5) Artisan Builders Group, LLC request: Approve the retention and use of an existing second entrance to 205 Middlebury Street and allow it to be used for additional parking

Marlin Schwartz of the Artisan Investment Group, LLC, asked the Board for permission to use an existing driveway off Middlebury Street as a parking space for a resident.

Schwartz said a condition of the renovations approved by the City's Board of Zoning Appeals was that the driveway adjacent to Middlebury Street would be removed and replaced by grass. He said he was seeking the Board's approval to instead use the existing area as a parking space instead of tearing out the concrete.

Schwartz said allowing use of the existing driveway would be closer to the resident's home and safer because "right now she has to go out the back door and across the yard to the parking space by the carriage house."

In a letter to the Board, **Schwartz** wrote that to reach her vehicle, the resident "must walk across the yard while carrying her personal belongings and accompanying her young daughter. This creates a particular concern during the winter months, when snow, ice, and other adverse conditions may make the route difficult and unsafe."

Schwartz wore that Artisan Investment Group LLC understands that the driveway removal condition "may have been imposed in part because of concerns regarding future maintenance or expenses to the City. If so, Artisan Investment Group LLC is willing to assume future costs associated with the drive approach and parking area, including any maintenance, repair or replacement. We want to reiterate that we are not asking for a new curb cut or approach but for the Board of Works approval to utilize the already existing entrance."

City Assistant Planning & Zoning Administrator Rossa Deegan responded to this request by telling the Board that a condition of approval of the duplex (at 205 Middlebury Street) was that Artisan remove the curb cut on Middlebury Street and restore it to a sidewalk. So, this request is before the Board for a request to approve the driveway use in the city's right of way.

City Civil Engineer Brad Minnick said the driveway to Middlebury Street was supposed to have been removed nearly two years ago, and part of the developmental variance at that time was an allowance that the four parking spaces that were required were reduced to three ... There should have been four, but there's only three. So now, we're back here today to deliberate it."

Minnick said, "We really want to limit the number of curb cuts in close proximity (to Middlebury Street) for sight lines and just general safety. So, Engineering recommends denial of this request." He added that Artisan "has opportunity and ample space in the backyard, and also that entrance off 5th Street as well as alternatives, so it would be Engineering's recommendation to deny this request."

Mayor Leichty asked if the carriage house is a separate property. **Minnick** said it was a single, empty property.

Board member Swartley said she is concerned that whoever used the proposed driveway would have to back out on to Middlebury Street because there's no room to turn around. She added, "Maybe bringing your parking closer in the back would make more sense."



Board member Landis said that in looking at the layout of the property, "it doesn't seem to me that there's any necessity for us or the Board of Zoning Appeals to make any change from the original (condition), because there's plenty of land and options and plenty of things that could be done. This apartment in question has a back door that is not very far from the current parking lot on the east side of the house toward the (Maple City) Health Center.

"And so, if that driveway was reconfigured. There would be plenty of parking for everybody, and there could have been parking for four cars there instead of them kind of begging for three because they didn't want to develop it. So, to me, it's more of a development issue than a necessity issue. So, I struggle with seeing the rationale for changing what was approved two years ago."

Mayor Leichty suggested that perhaps Maple City Health Care Center might be willing to grant the resident overnight parking access, since they're not using their parking lot. the evening or overnight. She said, "That might provide a possibility. It might be worth having a conversation with them."

Mayor Leichty acknowledged the costs associated with removing the driveway and asked if the Board of Zoning Appeals would object to the area being turned into a patio.

City Assistant Planning & Zoning Administrator Deegan said "there could be a patio on that side of the house, on the property itself, but the Board of Zoning Appeals doesn't have any jurisdiction, other than the condition that that curb cut is to be removed. So, that would be all I could say."

Mayor Leichty said depending on the length of the City's right of way, perhaps a portion of the concrete could serve some other purpose for the renter. **City Civil Engineer Minnick** said the space "doesn't offer enough opportunity in the present configuration to clear the sidewalk with a vehicle." He added, "As long as the (parking) apron remains there, there's always going to be that temptation to use it, right?"

Board members briefly discussed the possibility of allowing Artisan to retain some part of the concrete but didn't reach a conclusion of what to do. They also discussed the current curb cuts and other aspects of the property.

Mayor Leichty asked if Board members had a motion on how to proceed.

Swartley/Landis made a motion to deny the retention and use of an existing driveway entrance and directed that the curb cut be removed and that alternate parking be found for the resident of 205 Middlebury Street.

Mayor Leichty invited an additional comment from **Marlin Schwartz**.

Schwartz said, "I was just hoping that, you know, since it was already there to not add a new one (parking space). I was thinking logically. It's already there. It's going to cost us more to tear it out than it would to utilize it. It would create a closer parking spot for the other person, so it was at least worth the ask."

Board members then voted unanimously, by a 5-0 vote, to deny Artisan's request.

6) Legal Department request: Approve and authorize Mayor Leichty to execute an agreement with Abonmarche Consultants, Inc. for a City Hall Parking Boundary Survey

City Attorney Bodie Stegelmann recommended that the Board approve and authorize Mayor Leichty to execute an agreement with Abonmarche Consultants, Inc. to allow the City to enter into an agreement for a City Hall Parking Boundary Survey. The total cost for this service will be \$6,950.

Swartley/Landis made a motion to approve and authorize Mayor Leichty to execute an agreement with Abonmarche Consultants, Inc. for a City Hall Parking Boundary Survey. The motion passed 5-0.

7) Legal Department request: Award the contract for the Oakridge Cemetery Maintenance Building Roofing & Siding Project to Newbury Square Construction for \$63,848.51 and authorize the Mayor to execute the contract for the project



City Attorney Bodie Stegelmann said the City solicited proposals for the Oakridge Cemetery Maintenance Building Roofing & Siding Project in accordance with Indiana Code § 36-1-12-4.7.

Stegelmann said solicitations were sent to five contractors. Two proposals were received on Aug. 13, 2026 and are summarized below:

- | | |
|---------------------------------------|--------------|
| 1. Newbury Square Construction, | \$ 63,848.51 |
| 2. Reliable Roofing and Construction, | \$123,000.00 |

After reviewing the proposals, staff recommended awarding the Contract to Newbury Square Construction which submitted the lowest responsible and responsive quote of \$63,848.51. Accordingly, staff further recommended that the Board approve and authorize the Mayor to execute the attached contract for this project.

Board member Landis asked how the City could seek a quote when it hadn't yet been determined whether the building would need to be repaired or replaced. **City Paralegal Christina Bonham** responded, "We do actually have in the contract that if anything comes up, that they're to get with us first, and then authorize, so there might be an amendment for any observation during the project."

Swartley/Landis made a motion to award the contract for the Oakridge Cemetery Maintenance Building Roofing & Siding Project to Newbury Square Construction, the lowest responsible and responsive quoter, in the amount of \$63,848.51 and to approve and authorize the Mayor to execute the contract for this project. The motion passed 5-0.

8) Engineering Department request: Approve the daytime road closure of Century Drive, near 1803 Century Drive, on Saturday, Aug. 29, 2026

City Civil Engineer Brad Minnick said Niblock Excavating has requested permission to close Century Drive, near 1803 Century Drive, during the day on Saturday, Aug. 29, 2026. He said the road will be closed for Niblock to replace a drainage pipe that crosses the roadway.

Minnick said work is being scheduled on a Saturday to avoid significant impacts to adjacent businesses. Local access will be maintained to all properties between College Avenue and Eisenhower Drive. The normal north-to-south traffic pattern will be restored at the end of the day when the lane is reopened.

Swartley/Landis made a motion to approve the daytime road closure of Century Drive, near 1803 Century Drive, on Saturday, Aug. 29, 2026. The motion passed 5-0.

9) Engineering Department request: Accept the amended post-construction stormwater management plan for Dutch Bros Coffee as it meets the requirements of City Ordinance 5228

City Civil Engineer Brad Minnick said the Dutch Bros Coffee project located at 2823 Gateway South Drive, is modifying the existing Gateway South P.U.D. post-construction stormwater management plan accepted on January 7, 2008, and Amendment #1 accepted on July 24, 2017.

Minnick said the developer has submitted a sufficient post-construction stormwater management plan amendment that is compliant with Ordinance 5228, "Stormwater Management."

Per the developer's request, the fully executed post-construction stormwater management plan document will be recorded by their title company as part of the Closing process. This change in the City's process was discussed with Assistant City Attorney Don Shuler.

The Stormwater Management Department requested that the Board's acceptance of the post-construction stormwater management plan amendment.

Swartley/Landis made a motion to accept the amended post-construction stormwater management plan for Dutch Bros Coffee as it has been found to meet the requirements of City Ordinance 5228. The motion passed 5-0.



Privilege of the Floor (opportunity for public comment for matters not on the agenda):

Mayor Leichty opened Privilege of the Floor at 4:35 p.m. There were no comments.

Approval of Civil City and Utility Claims

Mayor Leichty made a motion to approve Civil City and Utility claims and adjourn the meeting. Board member Landis seconded the motion. The motion passed 5-0.

Adjournment

Mayor Leichty then adjourned the meeting at 4:35 p.m.

APPROVED:

Mayor Gina Leichty

Mike Landis, Member

Orv Myers, Member

Mary Nichols, Member



Barb Swartley, Member

ATTEST:

Richard R. Aguirre, Clerk-Treasurer



GINA M. LEICHTY

Mayor of **Goshen, Indiana**

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(574) 533-8621 ext. 8621

MEMO TO: City of Goshen Board of Public Works and Safety
FROM: Mayor Gina Leichty
RE: Request for Acknowledgment of Loan Principal Forgiveness for LaCasa, Inc.
DATE: August 27, 2026

Loan Agreement: The City of Goshen, Indiana and LaCasa of Goshen, Inc. entered into a Loan Agreement, dated January 8, 2024, whereby the City agreed to lend money to LaCasa for water and sewer utility infrastructure improvements supporting the construction of permanent supportive housing at the Oaklawn campus located at 302 Lakeview Drive.

Original Principal Amount: \$250,000

Pursuant to Section 5 of the Loan Agreement, the City of Goshen agreed to forgive principal amounts of the loan upon LaCasa achieving the following milestones: completion of the first 8-unit building would result in forgiveness of \$100,000 of loan principal, and completion of the third 8-unit building would result in forgiveness of an additional \$100,000 of loan principal.

Milestone	Forgiveness Amount
Completion of first 8-unit building (issuance of occupancy permit)	\$100,000
Completion of third 8-unit building (issuance of occupancy permit)	\$100,000

LaCasa of Goshen, Inc. has completed the first and third 8-unit permanent supportive housing buildings at the Oaklawn campus and the City of Goshen has issued occupancy permits for such buildings. Accordingly, the City recognizes and acknowledges that \$200,000 of the original \$250,000 principal amount has been forgiven, leaving a remaining principal balance of \$50,000.

This acknowledgment is provided for the records of LaCasa of Goshen, Inc. and the City of Goshen, and to support LaCasa's year-end financial reporting and audit documentation.

Approved and authorized by the City of Goshen Board of Public Works and Safety on the ____ day of _____, 2026.

CITY OF GOSHEN, INDIANA

By: _____

Date: _____

Gina M. Leichty, Mayor

Authorized by the City of Goshen Board of Public Works and Safety



**ENGINEERING DEPARTMENT
CITY OF GOSHEN**

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MEMORANDUM

TO: Board of Public Works and Safety

FROM: Goshen Engineering

RE: **2026 ASPHALT PAVING PACKAGE C – CHIP AND SEAL**
JN: 2026-0002

DATE: September 3, 2026

The Clerk-Treasurer's Office has received bids from contractors today for the 2026 Asphalt Paving Package C – Chip and Seal and we are requesting that the Board of Public Works and Safety open these bids at today's meeting.

Requested Motion: **Open bids received from Contractors for the 2026 Asphalt Paving Package C – Chip and Seal project and read the Bid Total amount and refer bids to the Engineering Department.**



ANTHONY D. POWELL

FIRE CHIEF, CITY OF GOSHEN

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August 31, 2026

To: Board of Works and Public Safety
RE: Promotion of Matthew Yutzy
From: Fire Chief Anthony Powell

Members of the Goshen Board of Works & Public Safety,

I respectfully request approval for the promotion of **Matthew Yutzy** from the rank of **Probationary Firefighter to Private First Class** with the Goshen Fire Department, retroactive to **August 25, 2026**.

Matt has successfully completed the Goshen Fire Department Recruit Academy and has met the training, performance, and professional standards required during his probationary year. Throughout this period, he has demonstrated a strong commitment to the department and has become a valued member of his shift and the Goshen Fire Department.

We are confident that Matt's knowledge, discipline, work ethic, and dedication to service will continue to positively contribute to the Goshen Fire Department and our mission of **“Positively Impacting Our Community Through Service.”**

I respectfully recommend the Board's approval of this promotion and look forward to Matt's continued growth and service with the Goshen Fire Department.

Thank you for your consideration.

Respectfully,

Anthony Powell
Fire Chief
Goshen Fire Department



ANTHONY D. POWELL
CHIEF OF THE DEPARTMENT
CITY OF GOSHEN

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To: Goshen Board of Works and Public Safety

From: Anthony Powell, Fire Chief

Date: August 31, 2026

Subject: Resignation of Probationary Firefighter Ben Snider

To the Goshen Board of Works and Public Safety:

I respectfully request that the Board acknowledge and accept the resignation of **Probationary Firefighter Ben Snider** from the Goshen Fire Department, effective **September 2, 2026**.

Ben submitted his resignation and expressed his appreciation for the opportunity to begin his fire service career with the Goshen Fire Department. During his time with GFD, Ben was provided the opportunity to begin his training and development as a professional firefighter and member of our organization.

While we are disappointed to see Ben leave the department, we appreciate his service to the City of Goshen and the time he spent as a member of the Goshen Fire Department. We wish him success as he moves forward with the next opportunity in his fire service career.

I respectfully request the Board's approval and acceptance of his resignation.

Thank you for your consideration.

Respectfully,

Anthony Powell
Fire Chief
Goshen Fire Department



Richard Aguirre, City Clerk-Treasurer
CITY OF GOSHEN

202 South Fifth Street, Suite 2 • Goshen, IN 46528-3714

Phone (574) 533-8625 • Fax (574) 533-9740

richardaguirre@goshencity.com • www.goshenindiana.org

TO: Board of Public Works & Safety
FROM: Clerk-Treasurer Richard R. Aguirre
RE: NIPSCO request for road closures
DATE: Sept. 3, 2026

The Clerk-Treasurer's Office received the following revised request on Aug. 24, 2026:

Below are the requested road closure dates for the NIPSCO Distribution Automation (DA) project.. Attached are the traffic plans by AREA and approved permit. I did not include Areas 4, 5, & 15 since we've previously discussed these will now be lane shifts instead of full closures.

We are hoping this can be presented on the 9/03 BOW meeting. NIPSCO Senior Project Manager Nick will be present for this meeting. Please let me know if you need anything further.

Area 1 – Goshen

Replace Pole 678230: 9/21/2026

Install Recloser Switch 1213: 9/22/2026

Area 2 – Goshen

Replace Pole 687751: 9/23/2026

Replace 3-200 KVAR CAP: 9/23/2026

Replace Pole 686696: 9/24/2026

Replace Switch 3403: 7/25/2026

Area 4 – Goshen

Install Pole 1125218: 9/30/2026

Install Recloser Switch 7661: 10/01/2026

Change SW Orientation: 10/02/2026

Area 5 – Goshen

Replace Pole 543818: 9/08/2026

Replace Switch 1735: 9/09/2026

Area 6 – Goshen

Replace Pole 675807: 10/02/2026

Replace Switch 1221: 10/05/2026

Area 7 – Goshen

Replace Pole 682759: 10/06/2026

Replace Switch 2051: 10/07/2026

Area 14 – Goshen

Replace Pole 675202: 10/27/2026

Replace 3-300 KVAR CAP: 10/27/2026

Area 15 – Goshen

Replace Pole 660139: 10/28/2026

Replace 3-300 KVAR CAP: 10/29/2026

Salena Pena | Permit Specialist

NIPSCO | 801 E. 86th Avenue | Merrillville, IN 46410

(M) 219.433-9412 | spena@nisource.com

Distribution Automation

ADVANCEMENTS IN TECHNOLOGY SPARK BENEFITS FOR NIPSCO CUSTOMERS



This technology allows for real-time control and monitoring of the electrical distribution system resulting in:

- **Faster outage detections**
- **Faster service restoration**
- **Shortened duration if a service interruption occurs.**
- **Less future maintenance work**

THE RECLOSER SYSTEM

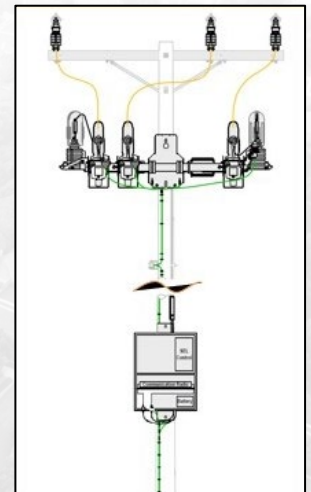
This utility pole is part of the electrical distribution system and uses advanced technology called automated switching to transfer load supply, if, and when a service interruption was to occur. This shift in load supply will result in a brief interruption of service as power is transferred over to the next circuit.

The technology works by segmenting the circuit into smaller customer served sections. Each distribution automation pole has a recloser and antenna at the very tip of the pole that serves as the automated switching mechanism and a wireless communication feed to nearby existing electrical facilities.

The wireless communication feed transfers internal NIPSCO system data only. This eliminates the need for physical walk downs to identify circuit faults, resulting in quicker identification and restoration times.

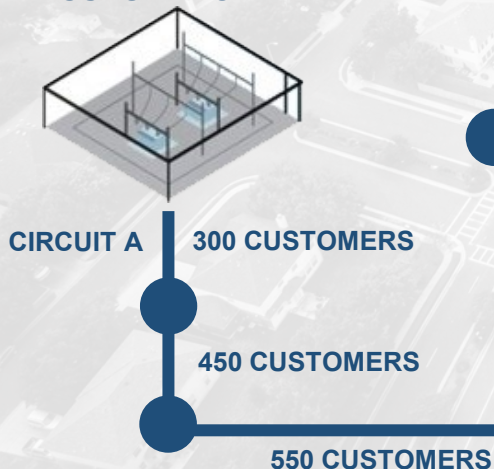
The program will continue through 2031 to install more than 800 new distribution automation poles across NIPSCO service territory.

**DISTRIBUTION
AUTOMATION POLE**

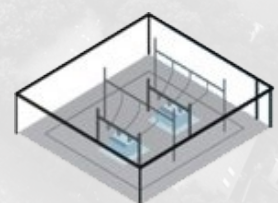


**RECLOSER AT THE
TOP OF POLES**

SUBSTATION A



SUBSTATION B



Learn more at [NIPSCO.COM/PROJECTS](https://www.nipSCO.com/projects)



ENGINEERING DEPARTMENT CITY OF GOSHEN

204 East Jefferson Street, Suite I • Goshen, IN 46528-3405
Phone (574) 534-2201 • Fax (574) 533-8626
engineering@goshencity.com • www.goshenindiana.org

Right-of-Way Permit

Permit #:	20252150-ROW	Permit Type:	Right-of-Way / Excavation / Utility
Date Issued:	5/28/2026	Date Expired:	Expires 90 days after issued date
Applicant:	NIPSCO 801 E 86th Ave, Merrillville, IN 46410 (219) 433-9412, spena@nisource.com		
Project Address:	1102 E Reynolds St	Contractor	NIPSCO
Lot #:		Information:	801 E 86th Ave
Use Zone:	R-1		Merrillville, IN 46410
Work Type:	Electric; NIPSCO - WO# 4000047854 - DA: Replace / install (12) utility poles including the overhead equipment and conductors / wires to the new poles within the city limits. Refer to AREAS 1-2, 4-7, 9, and 13-18 on the design drawing for these locations. These pole heights will range from 45ft - 135ft. Traffic control to consist of full road closures for AREAS 1-2, 4-7, 14-15. Single lane closures only for AREAS 9, 13, 17, 18.		

<u>Street Cut Surface</u>	<u>Dimensions (ft)</u>	<u>Quantity</u>
Sod	3 x 3	12

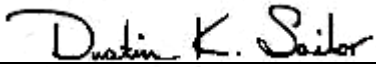
Conditions

This permit is contingent upon the information provided, and the applicant hereby agrees to the terms outlined below under 'Right-of-Way Terms,' as well as any special conditions specified herein:

- Goshen Engineering is to be notified of the start date prior to initiating work.
- Permit drawing(s) provide additional comments to be included as part of the permit conditions.
- Proposed work is located within a right-of-way designated as local, collector, and arterial.
- Utility shall obtain utility locates and maintain: 5' buried horizontal separation to public water main; 10' buried horizontal separation to sanitary and storm sewer; a minimum of 10' (preferably 15') separation from utility poles and public water or sewer lines; 18" buried vertical separation to water and sewer assets.
- Utility pole offset to the face of curb to be 1.5' (0.5 m) minimum. When no curb exists, pole offset shall be 5' (1.5 m).
- To avoid future conflict with roadway reconstruction, bore depths shall be 48" or deeper. Bore depth to be verified by City inspector via instrument readings.
- Disturbed lawn areas within a utility easement or right-of-way shall be restored with INDOT Type U seed and then stabilized with an erosion control blanket.
- Backfill is to be compacted to 95% standard proctor in greenspace and 98% under hard surface areas.
- Maintenance of Traffic shall follow MUTCD, 11th Edition guidelines. Failure to implement proper traffic control measures will be grounds for a stop-work order.
- Lane restrictions and street closures on collector and arterial roadways require approval from the Board of Works and Safety. The request is to be sent to the City of Goshen Engineering by Monday prior to the Thursday Board of Works and Safety meeting at 4:00 p.m. Meetings are held on the 1st, 2nd, and 3rd Thursday of the month.

- Sidewalk closures shall follow MUTCD, 11th Edition, Section 6C guidelines. Board of Works and Safety approval is required for sidewalks/ multi-use paths with a width of 8' and greater.

Approved for Issuance:


Dustin K. Sailor
Director of Public Works

Amount Due: \$100.00

Amount Paid: \$100.00

Payment Type: Check - 5059087833

Payment Date: 1/6/2026

The applicant must schedule a final inspection by contacting Goshen Engineering at (574) 534-2201 or by scheduling online.

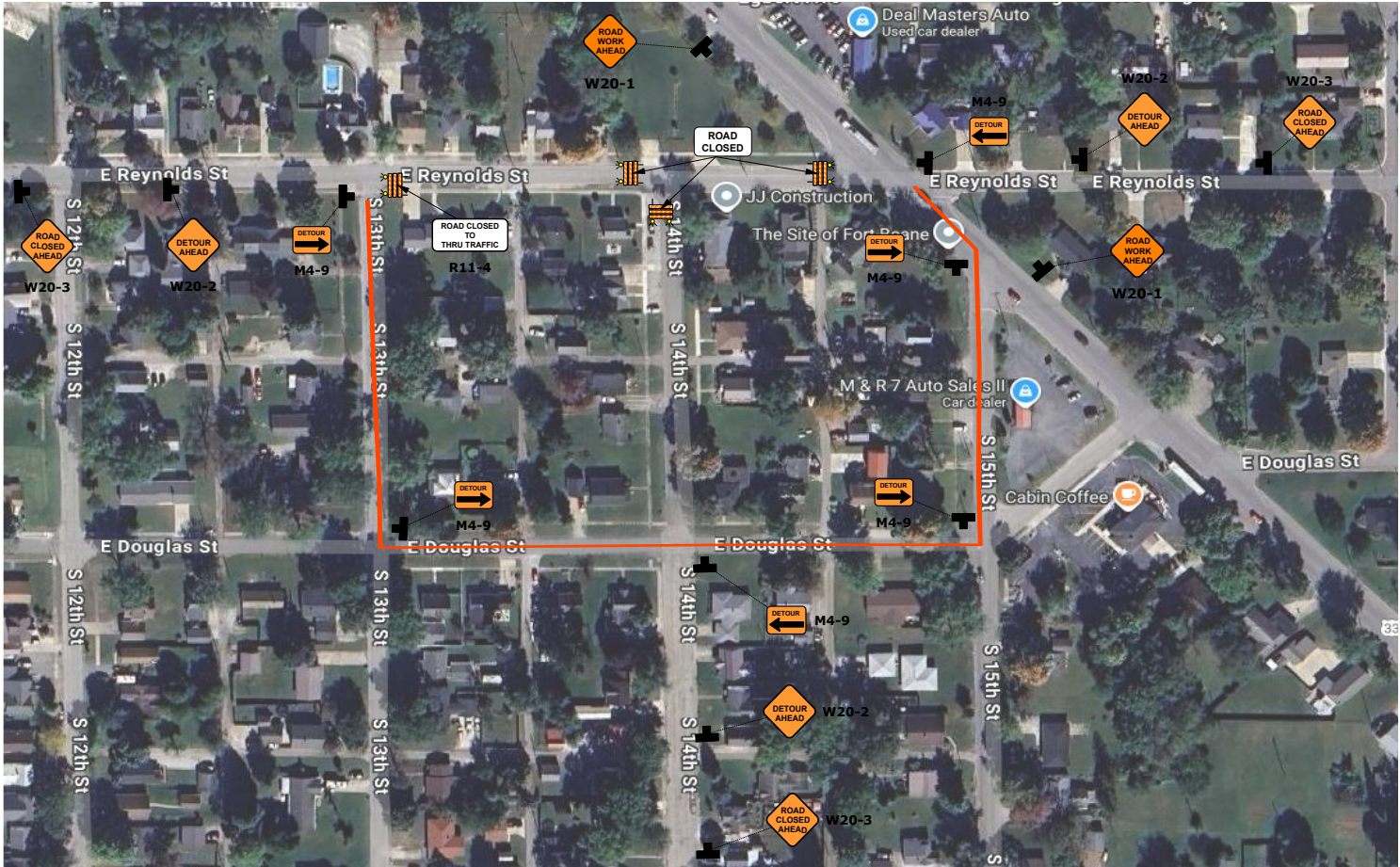
Right-of-Way Permit Terms

The Permittee and/or all Contractors Shall:

1. All work requiring a Right-of-Way Cut Permit must be performed in accordance with the terms of this permit, the Construction Standard Details (here), and Goshen Ordinance No. 3659.
2. Work is permitted only between the hours of 7:00am to 8:00pm. No work shall be conducted outside of these designated hours.
3. The Street Commissioner, Engineering Department, or their authorized representative reserves the right to stop work at any time.
4. Permits are valid for a period of three (3) months from the date of issuance, unless an extension is granted by the Engineering Department. If work is not completed within this time frame, a new permit must be obtained.
5. If any road or sidewalk closures or restrictions are required, a traffic control plan must be submitted for review and approval by the Board of Public Works and Safety. For meeting schedules and details, please contact Goshen Engineering at 574-534-2201.
6. Within areas affecting vehicular and pedestrian traffic, install and maintain appropriate warning signs, barricades, and warning lights in accordance with the Manual on Uniform Traffic Control Devices for Construction and Maintenance Areas. Any traffic disruption requires approval from the Board of Public Works and Safety (see Term No. 5). Permit holders must also notify 911 immediately when any street is closed to emergency vehicles.
7. Any structures installed under this permit must be moved or removed at the permit holder's expense if future traffic conditions or road improvements necessitate.
8. Permit holders shall not interfere with any existing structure along or across a city street without the express permission of the structure's owner.
9. Boring under pavement is required unless deemed impractical. If a pavement cut is necessary, it must be initiated with a saw cut to a minimum depth of three inches. The cut must be at least one foot wider on each side than the trench to be excavated.
10. All pipes, conduits, and materials used must meet the specifications of the City of Goshen with respect to size and quality.
11. Backfill around pipes, conduits, and trenches must be compacted in four-inch layers using thorough tamping to ensure high compaction. Under pavement - flowable fill shall be used above the granular pipe embedment unless in water or otherwise authorized. In such cases, a granular (no organic) material may

be used, and compaction must be inspected by the City prior to final pavement restoration. Other areas - Excavated material may be reused as backfill. Temporary pavement surfaces - Must consist of a minimum of six inches of crushed limestone, maintained smooth and uniform until final resurfacing, which must occur within four (4) weeks.

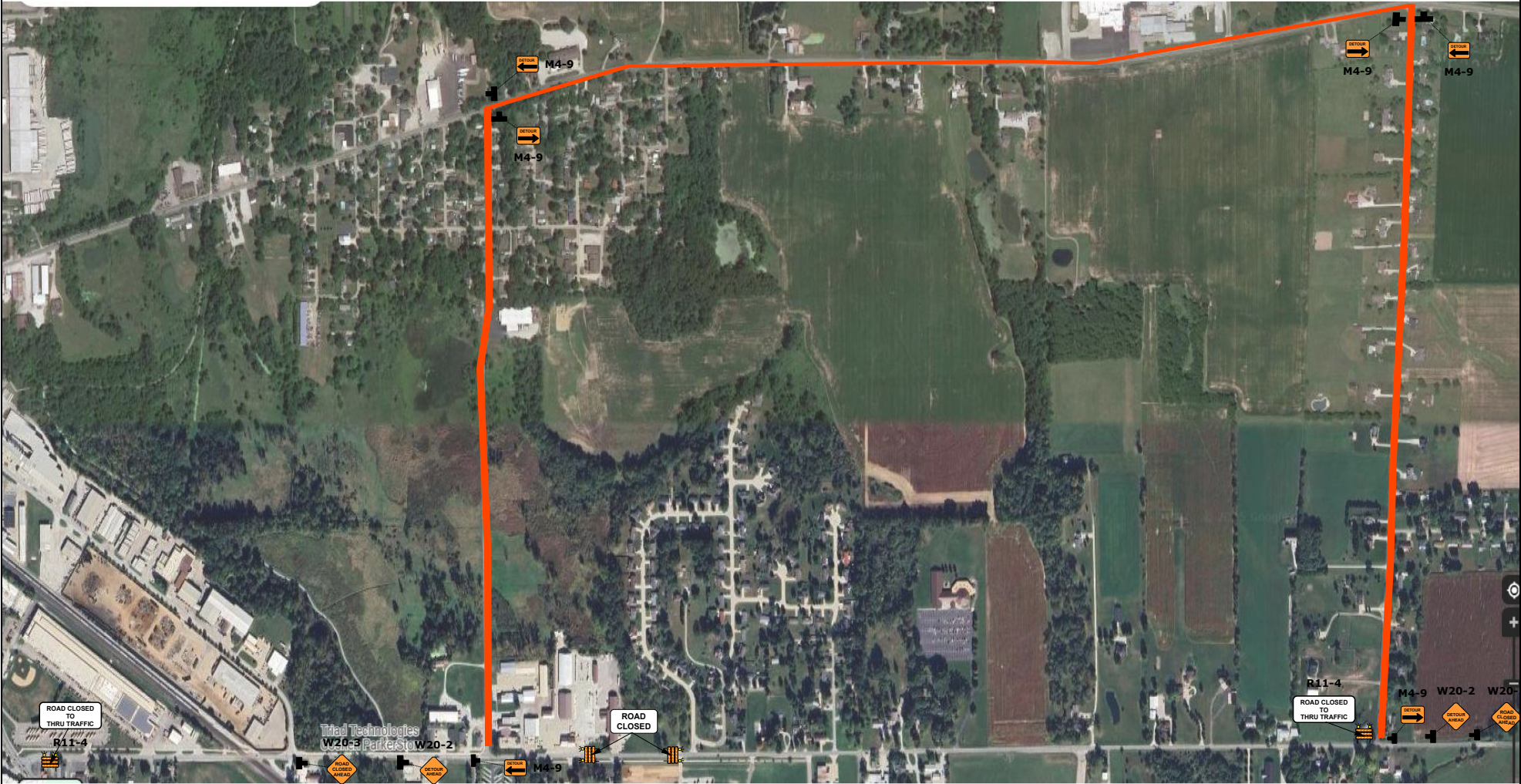
12. Any removed pavement, driveway, or sidewalk must be replaced with materials of equal or better quality and restored to the original condition. Sod must be restored through replacement or proper seeding.
13. Permit holders are responsible for repairing any settling that occurs within one year of project completion.
14. The permit holder/sub-contractors assume all responsibility for any injury or damage to persons or property resulting directly or indirectly from the permitted work. Pavement restoration must be completed by a contractor approved by the City. Contractors remain on the City's approved list based on performance, compliance, and proper equipment use.



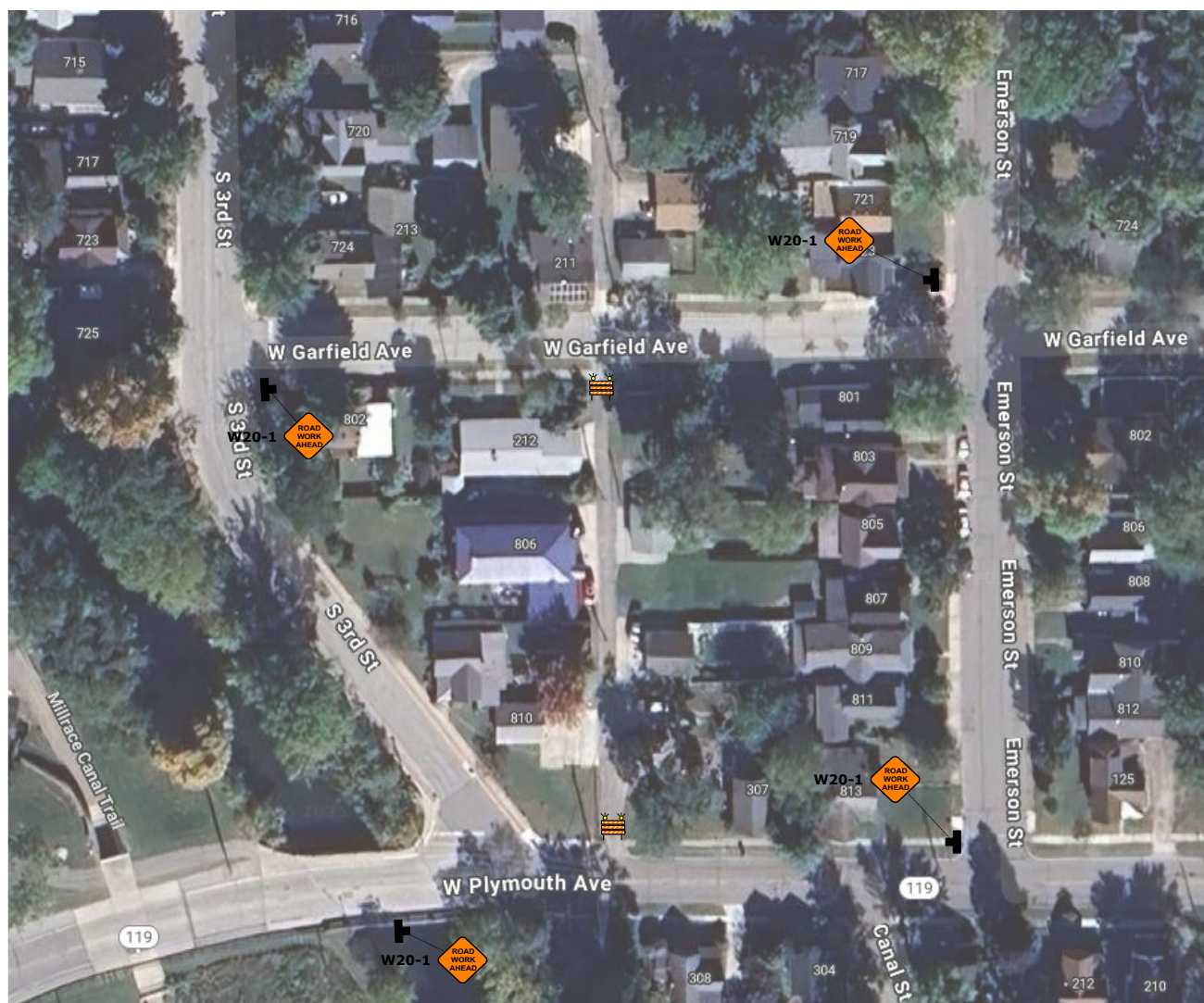
Date: 10/03/2025 **Author:** HighStar Traffic **Project:** 1102 E Reynolds St, Goshen Area-1 WO52992-912
Prepared for: Nipsco **Sheet:** 1 of 1 **Scale:** N.T.S.

Comments:
Plan provided to meet MUTCD standards, any additional requirements may need to be approved. Plans are non signed, sealed, and are for illustration to governing agency for approval.

Manifest
4 x M4-9 detour (R)
3 x W20-2 detour ahead
3 x W20-3 road closed ahead
2 x M4-9 detour (L)
2 x W20-1 road work ahead
1 x R11-2 road closed R11-2
1 x R11-4 road closed to thru traffic



 HighStar TRAFFIC 524 TYP 2000 Date = 10/01/2024 524-TYP-2000 Pls: Kue, IN 45504	Prepared for: Nipsco Sheet: 1 of 1 Scale: N.T.S. Comments: Plan provided to meet MUTCD standards, any additional requirements may need to be approved. Plans are non signed, sealed, and are for illustration to governing agency for approval.	2 x R11-4 road closed to thru traffic 2 x W20-2 detour ahead 2 x W20-3 road closed ahead 1 x R11-2 road closed R11-2
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Date: 10/01/25 **Author:** HighStar Traffic **Project:** 212 W Garfield Ave, Goshen Area-6 WO52992-912
Prepared for: NIPSCO **Sheet:** 1 of 1 **Scale:** N.T.S.

Comments:

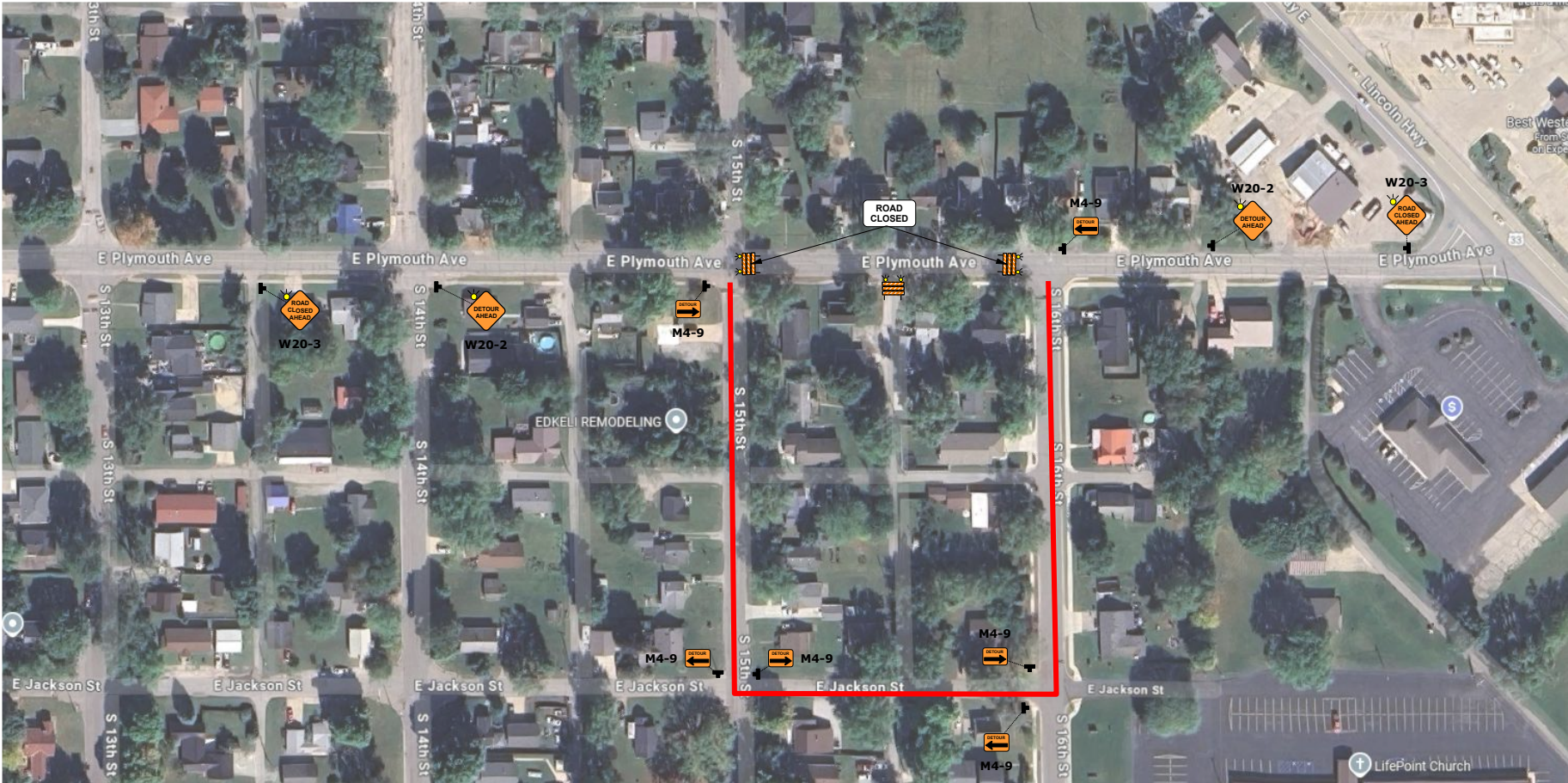
Plan provided to meet MUTCD standards, any additional requirements may need to be approved.
 Plans are non signed, sealed, and are for illustration to governing agency for approval.

Manifest

4 x W20-1 road work ahead
 2 x Object Group



 524 727 2000 0104 1210 Pacific Ave 524 727 2000 P.O. Box 10 4574	Date: 9/17/2025 Author: HighStar Traffic Project: 114 W Jefferson St., Goshen Prepared for: Nipsco Sheet: 1 of 1 Scale: N.T.S.	Manifest
	Comments: Plan provided to meet MUTCD standards, any additional requirements may need to be approved. Plans are non signed, sealed, and are for illustration to governing agency for approval. ▲	3 x Object Group 3 x W20-1 road work ahead



Date: 11/25/2025 Author: HighStar Traffic Project: 1205 E PLYMOTH AVE, GOSHEN - Closure/Detour
Prepared for: Nipsco Sheet: 1 of 1 Scale: N.T.S.

Comments:
Plan provided to meet MUTCD standards, any additional requirements may need to be approved. Plans are non signed, sealed, and are for illustration to governing agency for approval.

Manifest

- 3 x M4-9 detour (L)
- 3 x M4-9 detour (R)
- 2 x W20-2 detour ahead
- 2 x W20-3 road closed ahead
- 1 x R11-2 road closed R11-2

*****REQUEST*****

DATE: Thursday, September 3, 2026

TO: GOSHEN BOARD OF WORKS

FROM: GOSHEN WATER & SEWER
KELLY SAENZ

RE: UNPAID FINAL ACCOUNTS

The original amount of unpaid final Water/Sewer accounts for this period was **\$2,548.17**
Collection letters were sent out and payments of **\$1,156.17** had been collected.

The uncollected amount equals **\$1,392.00**

Therefore I am requesting to move our uncollected finalized accounts from active to Collection,
Sewer Liens and Write offs.

These are accounts for the most part were finalized thru **Thursday, June 11, 2026**

WATER: \$786.87
SEWER: \$605.13

TOTALS

REPORT TOTAL		\$2,548.17
BPS TOTAL	\$609.78	\$1,938.39
COUNTY TOTAL	\$325.73	\$1,612.66
W-WRITE OFF	\$177.09	\$1,435.57
S-WRITE OFF	\$279.40	\$1,156.17
PAYMENT TOTAL	\$1,156.17	\$0.00
AGREEMENT TOTAL	\$0.00	



Marv Shepherd, Superintendent
Water Treatment & Sewer Collection Department
308 North Fifth Street • Goshen, IN 46528-2802

Phone (574) 534-5306 • TDD (574) 534-3185
marvshepherd@goshencity.com • www.goshenindiana.org

Request approval of a temporary road closure of South 8th Street between Plymouth Avenue and Jackson Street from 7:00 a.m. on September 8, 2026, through the afternoon of September 11, 2026, to allow installation of a new sanitary sewer service connection at 911 South 8th Street. The closure is necessary to provide a safe work area for Water & Sewer Department staff and contractors. Work is weather dependent.

Recommended Motion:

Motion to approve the temporary closure of South 8th Street between Plymouth Avenue and Jackson Street from September 8, 2026, through September 11, 2026, for the installation of a sanitary sewer service connection at 911 South 8th Street, subject to coordination with emergency services and proper traffic control measures.



Marv Shepherd, Superintendent
Water Treatment & Sewer Collection Department

308 North Fifth Street • Goshen, IN 46528-2802

Phone (574) 534-5306 • TDD (574) 534-3185
marvshepherd@goshencity.com • www.goshenindiana.org

DATE: August 20, 2026

TO: Goshen Residents and Businesses

FROM: Goshen Utilities – Water & Sewer Department

SUBJECT: Fall Hydrant Flushing Program – September 28 to October 2, 2026

Goshen Utilities' **Fall Hydrant Flushing Program** will begin on **Monday, September 28, 2026**, and continue through **Friday, October 2, 2026**, weather permitting.

Daytime Flushing

- **Dates:** September 28 – October 2
- **Hours:** 8:30 a.m. – 3:30 p.m.
- **Location:** Upper pressure zone (everything northeast of U.S. 33 and the Norfolk Southern tracks)

Nighttime Flushing (9:00 p.m. – 6:00 a.m.)

- **Monday, September 28** – Madison Street & 10th Street heading south to the city limits; between Norfolk Southern tracks and U.S. 33 to the city limits south
- **Tuesday, September 29** – Between Cottage Avenue and 10th Street from the Norfolk Southern tracks south to the city limits; between Lincolnway East and the Norfolk Southern tracks east to the city limits
- **Wednesday, September 30** – Between Pike Street and the city limits south; between N Greene Road and Cottage Avenue
- **Thursday, October 1** – Between Norfolk Southern and the city limits south; between N Greene Road and the city limits west

Important Notice for Residents

- Please **avoid doing laundry** during flushing in your area, as rust and sediment may cause water discoloration.
- If laundry becomes stained, Goshen Utilities will provide a **special soap** to help remove the discoloration.

For questions or concerns, please get in touch with the Goshen Utilities Office at **574-534-5306**.



Engineering Department

CITY OF GOSHEN

204 East Jefferson Street, Suite 1 • Goshen, IN 46528-3405

Phone (574) 534-2201 • Fax (574) 533-8626 • TDD (574) 534-3185
engineering@goshencity.com • www.goshenindiana.org

Memorandum

To: Goshen Board of Public Works

From: Goshen Engineering

RE: **STEURY AVENUE & LINCOLN AVENUE RECONSTRUCTION & DRAINAGE
IMPROVEMENTS – CHANGE ORDER NO. 11 (JN: 2019-0046)**

Date: September 3, 2026

During investigation of the existing water main needed to complete shutdown and tie-in of the proposed 12-inch water main, an existing 10-inch fire-suppression service serving Lions Head was discovered. The City also identified concerns about maintaining adequate system pressure during shutdown and installation of the connection points.

Change order No. 11 is to provide all labor, material, equipment, supervision, testing, coordination, and incidentals required to supply and install the 10-inch water main connection.

Goshen Engineering requests that the Goshen Board of Public Works approve Change Order No. 11 in the amount of \$38,643.40. This change, along with previous changes, increases the value of the contract by 5.39%. Goshen Redevelopment is funding this project and will review at the meeting.

Suggested Motion: *Move to approve Change Order No. 11 in the amount of \$38,643.40 to supply and install the 10-inch water main connection.*

CHANGE ORDER FORM

Pg 1 of 3

Change Order No. 11

Date: 8/20/2026

***CITY OF GOSHEN, INDIANA
OFFICE OF THE CITY ENGINEER
204 E. Jefferson Street, Suite 1
Goshen, IN 46528***

OWNER: City of Goshen

PROJECT NAME: Steury Avenue and Lincoln Avenue Reconstruction Project

PROJECT NUMBER: 2019-0046

CONTRACTOR: Niblock Excavating, Inc.

I. DESCRIPTION OF WORK INVOLVED (Use additional sheets if needed)

During investigation of the existing water main needed to complete shutdown and tie-in of the proposed 12-inch water main, an existing 10-inch fire-suppression service serving Lions Head was discovered. The City also identified concerns about maintaining adequate system pressure during shutdown and installation of the connection points.

Provide all labor, material, equipment, supervision, testing, coordination, and incidentals required to supply and install the 10-inch water main connection.

CO 11.1	Water Main, DIP CL50, 10"	60 LFT	@ \$101.00	\$6,060.00
CO 11.2	Water Main Fitting, 12" x 10" Tee	3 EA	@ \$2,793.80	\$8,381.40
CO 11.3	Water Main Bend, 45 Degree	3 EA	@ \$6,126.50	\$18,379.50
CO 11.4	Gate Valve and Box, 10" N/A	2 EA	@ \$1,480.50	\$2,961.00
CO 11.5	Water Main Sleeve, 10"	2 EA	@ \$1,430.75	\$2,861.50

Subtotal= \$38,643.40

CHANGE ORDER FORM

Pg 2 of 3

Change Order No. 11

II. ADJUSTMENTS IN AMOUNT OF CONTRACT

1. Amount of original contract	\$9,097,758.00
2. Net (Addition/ Reduction) due to all Previous Contract Supplements Numbers 1 to <u>10</u>	\$452,149.50
3. Amount of Contract, not including this supplement	\$9,549,907.50
4. Addition/ Reduction to Contract due to this supplement	\$38,643.40
5. Amount of Contract, including this supplemental	\$9,588,550.90
6. Total (Addition/ Reduction) due to all Change Orders (Line 2 + Line 4)	\$490,792.90
7. Total percent of change in the original contract price Includes Change Order No. 1 to <u>11</u> (Line 6 divided by Line 1)	5.39%

III. CONTRACT SUPPLEMENT CONDITIONS

1. The contract completion date established in the original contract or as modified by previous Contract Supplement(s) is hereby **extended/reduced** by 0 calendar days, making the final completion date August 18, 2026.

2. Any additional work to be performed under this Contract supplement will be carried out in compliance with the specifications included in the preceding Description of Work Involved, with the supplemental contract drawing designed as _____, and under the provisions of the original contract including compliance with applicable equipment specifications, general specifications and project specifications for the same type of work.

3. This Contract Supplement, unless otherwise provided herein, does not relieve the contractor from strict compliance with the guarantee provisions of the original contract, particularly those pertaining to performance and operation of equipment.

CHANGE ORDER FORM

Pg. 3 of 3

Change Order No. 11

4. The contractor expressly agrees that he will place under coverage of his Performance and Payment Bonds and contractor's insurance, all work covered by this Contract Supplement. The contractor will furnished to the owner evidence of increased coverage of this Performance and Payments bonds for the accrued value of all contract supplements, which exceed the original contract price by twenty (20) percent.

RECOMMENDED FOR ACCEPTANCE

Brad Minnick, P.E.
City Civil Engineer

ACCEPTED: REDEVELOPMENT
CITY OF GOSHEN, INDIANA

BY:

Becky Hutsell, Redevelopment Director

ACCEPTED: BOARD OF PUBLIC WORKS AND SAFETY
CITY OF GOSHEN, INDIANA

Mayor

Member

Member

Member

Member

ACCEPTED: CONTRACTOR

BY:

Signature of authorized representative

Printed

Title



**Engineering Department
CITY OF GOSHEN**

204 East Jefferson Street, Suite 1 • Goshen, IN 46528-3405

Phone (574) 534-2201 • Fax (574) 533-8626 • TDD (574) 534-3185
engineering@goshencity.com • www.goshenindiana.org

Memorandum

To: Goshen Board of Public Works

From: Goshen Engineering

RE: **STEURY AVENUE & LINCOLN AVENUE RECONSTRUCTION & DRAINAGE
IMPROVEMENTS – CHANGE ORDER NO. 11 (JN: 2019-0046)**

Date: September 3, 2026

During review of the plans for the upcoming work associated with the off-site parking lots, it has been noted that, although pavement striping is shown on the plans, the legend does not include callouts identifying the required line widths, colors, or pavement marking materials. Additionally, there are no plan callouts identifying permanent message markings, including ADA symbols and accessible parking space designations.

Goshen Engineering requests that the Goshen Board of Public Works approve Change Order No. 12 in the amount of \$1,745.00. This change, along with previous changes, increases the value of the contract by 5.41%. Goshen Redevelopment is funding this project and will review at the meeting on September 08, 2026.

Suggested Motion: *Move to approve Change Order No. 12 in the amount of \$1,745.00 for Niblock to provide needed markings.*

CHANGE ORDER FORM

Pg 1 of 3

Change Order No. 12

Date: 9/1/2026

***CITY OF GOSHEN, INDIANA
OFFICE OF THE CITY ENGINEER
204 E. Jefferson Street, Suite 1
Goshen, IN 46528***

OWNER: City of Goshen

PROJECT NAME: Steury Avenue and Lincoln Avenue Reconstruction Project

PROJECT NUMBER: 2019-0046

CONTRACTOR: Niblock Excavating, Inc.

I. DESCRIPTION OF WORK INVOLVED (Use additional sheets if needed)

During review of the plans for the upcoming work associated with the off-site parking lots, it has been noted that, although pavement striping is shown on the plans, the legend does not include callouts identifying the required line widths, colors, or pavement marking materials. Additionally, there are no plan callouts identifying permanent message markings, including ADA symbols and accessible parking space designations.

Due to lack of information provided on the plans and the absence of corresponding quantities within the bid/pay items, Niblock is pleased to provide the following pricing for the items in question.

CO 12.1	Mobilization Demobilization	1 EA	@ \$715.00	\$715.00
CO 12.2	Layout and Stripe, 4" Solid Line, (Color to be determined)	600 LF	@ \$1.50	\$900.00
CO 12.3	Pavement Message Marking, Blue Paint ADA Symbol on Blue Square	2 EA	@ \$65.00	\$130.00

Subtotal= \$1,745.00

CHANGE ORDER FORM

Pg 2 of 3

Change Order No. 12

II. ADJUSTMENTS IN AMOUNT OF CONTRACT

1. Amount of original contract	\$9,097,758.00
2. Net (Addition/ Reduction) due to all Previous Contract Supplements Numbers 1 to <u>11</u>	\$490,792.90
3. Amount of Contract, not including this supplement	\$9,588,550.90
4. Addition/ Reduction to Contract due to this supplement	\$1,745.00
5. Amount of Contract, including this supplemental	\$9,590,295.90
6. Total (Addition/ Reduction) due to all Change Orders (Line 2 + Line 4)	\$492,537.90
7. Total percent of change in the original contract price Includes Change Order No. 1 to <u>12</u> (Line 6 divided by Line 1)	5.41%

III. CONTRACT SUPPLEMENT CONDITIONS

1. The contract completion date established in the original contract or as modified by previous Contract Supplement(s) is hereby **extended/reduced** by 0 calendar days, making the final completion date August 18, 2026.

2. Any additional work to be performed under this Contract supplement will be carried out in compliance with the specifications included in the preceding Description of Work Involved, with the supplemental contract drawing designed as _____, and under the provisions of the original contract including compliance with applicable equipment specifications, general specifications and project specifications for the same type of work.

3. This Contract Supplement, unless otherwise provided herein, does not relieve the contractor from strict compliance with the guarantee provisions of the original contract, particularly those pertaining to performance and operation of equipment.

CHANGE ORDER FORM

Pg. 3 of 3

Change Order No. 12

4. The contractor expressly agrees that he will place under coverage of his Performance and Payment Bonds and contractor's insurance, all work covered by this Contract Supplement. The contractor will furnished to the owner evidence of increased coverage of this Performance and Payments bonds for the accrued value of all contract supplements, which exceed the original contract price by twenty (20) percent.

RECOMMENDED FOR ACCEPTANCE



Brad Minnick, P.E.
City Civil Engineer

ACCEPTED: REDEVELOPMENT
CITY OF GOSHEN, INDIANA

BY:

Becky Hutsell, Redevelopment Director

ACCEPTED: BOARD OF PUBLIC WORKS AND SAFETY
CITY OF GOSHEN, INDIANA

Mayor

Member

Member

Member

Member

ACCEPTED: CONTRACTOR

BY:

Signature of authorized representative

Printed

Title



CITY OF GOSHEN LEGAL DEPARTMENT
Donald R. Shuler, Assistant City Attorney

City Annex
204 East Jefferson Street, Suite 2
Goshen, Indiana 46528-3405

donshuler@goshencity.com • goshen.in.gov
Phone (574) 537-3855 • Fax (574) 533-8626 • TDD (574) 534-3185

September 3, 2026

To: Board of Public Works and Safety

From: Don Shuler, Assistant City Attorney

Subject: Hearing – 517/519 New York Street – Building Commissioner Order

This matter comes before the Board in its capacity as the City's Unsafe Building Hearing Authority and as the board to review Public Nuisance enforcement under Goshen City Code § 6.10.2. An Order of the City of Goshen Building Commissioner was issued on August 3, 2026 for the property at 517-519 New York. The Order addresses both public nuisance conditions as well as building code violations at the residential structures on the property. The Order requires that the nuisance conditions be abated and the code violations repaired within thirty (30) days.

The Order of the Building Commissioner was sent via certified mail and regular mail, as required by the Indiana Unsafe Building Law. The certified mail was returned "unclaimed." The regular mail was not returned.

Today's hearing is to review the Building Commissioner's Order. The Board may receive reports, evidence, and arguments from the Building Department, the property owner, City staff, and any other individual wishing to speak to the property.

Attached for the Board's reference is the Building Commissioner's Order, the Staff Report to be presented at the Hearing, as well as the Staff's recommended proposed Order.

CITY OF GOSHEN BUILDING COMMISSIONER
PUBLIC NUISANCE / UNSAFE BUILDING
ENFORCEMENT AUTHORITY ORDER

August 3, 2026

IN RE: Violation of Goshen City Code

Property Address: 517 / 519 New York Street

Property Tax Code: 20-11-15-306-008.000-015

Property Owner: Unique Property Leasing, LLC

Substantial Property Interest of Record: None

Section 1.

You are hereby notified that you are in violation of the City of Goshen Public Nuisance Ordinance, codified at Goshen City Code § 6.10.2; and the City of Goshen Neighborhood Preservation Ordinance, codified at Goshen City Code § 6.3.1. The violations exist at property owned by you, as evidenced by the tax records of the Elkhart County Auditor, property tax code number 20-11-15-306-008.000-015; commonly known as 517-519 New York Street, Goshen, Indiana, said real estate more particularly described in Exhibit A (the "Premises").

Section 2.

The following conditions exist on the Premises identified in Section 1:

A. Public Nuisance

- 1) Solid waste generated at the Premises is not contained. The solid waste containers serving the Premises are habitually filled beyond their rated capacity and above the maximum loading level marked upon the containers, and bagged and loose garbage and litter accumulate upon the ground surrounding the containers and scatter across the Premises. The number of containers provided at the Premises, and the frequency with which they are collected, are insufficient to contain the solid waste generated at the Premises between collections, and the condition therefore recurs. This condition was observed and documented on June 9, 2026, June 17, 2026, and July 1, 2026. This condition constitutes a public nuisance generally under § 6.10.2.1(c) and more specifically under §§ 6.10.2.1(c)(1), (4), (7), and (11).
- 2) There has accumulated upon the Premises, outside any enclosed structure, a quantity of debris covered by deteriorating tarpaulins, including building

materials, scrap, concrete block, and rubble, together with associated loose materials at the margins of the accumulation, maintained in an unsanitary condition and providing harborage for rodents and insects. This accumulation was observed and documented on July 29, 2025 and remained in substantially the same location and condition when observed and documented on June 9, 2026. This condition constitutes a public nuisance generally under § 6.10.2.1(c) and more specifically under §§ 6.10.2.1(c)(1), (2), (4), and (11), and to the extent the accumulation includes demolition remains, under § 6.10.2.1(c)(3).

- 3) A detached automobile panel and other materials are situated upon the accumulation described in Section 2.A(2), exposed to the weather and outside any enclosed structure. This condition constitutes a public nuisance generally under § 6.10.2.1(c) and more specifically under § 6.10.2.1(c)(5).

The foregoing conditions, individually and collectively, constitute the having, maintaining, or allowing of a public nuisance on the Premises in violation of Goshen City Code § 6.10.2.4. The Enforcement Authority further finds that the condition described in Section 2.A(1) is recurring in nature, that its recurrence is caused by the insufficiency of the container capacity provided at the Premises and of the frequency of collection, and that the condition will continue to recur unless that capacity and frequency are increased sufficiently to contain all solid waste generated at the Premises between collections. The Enforcement Authority further finds, pursuant to Goshen City Code § 6.10.2.10 and I.C. § 36-7-9-4(b)(2)(C), that the existence of a public nuisance upon the Premises renders the Premises unsafe premises within the meaning of the Indiana Unsafe Building Law, I.C. § 36-7-9-1 *et seq.*

B. Unsafe Building

- 1) The exterior wall assemblies of the residential structures upon the Premises are incomplete. Large areas of both structures, including full elevations and full-height wall sections, are covered only by house wrap – a water-resistive barrier designed and manufactured to be installed beneath a finished exterior wall covering – with no siding or other finished exterior wall covering installed over it. The house wrap has been exposed directly to the weather since at least July 29, 2025, and is torn, detached, and degraded in multiple locations, exposing bare wall sheathing beneath. House wrap is not an approved exterior wall covering and does not, standing alone, provide a weather-resistant exterior wall envelope.
- 2) The soffit and eave assemblies of the structures are open and unenclosed, with rafter tails and eave cavities exposed along substantial runs of the roof line, permitting entry of water, birds, bats, rodents, and insects into the attic and wall assemblies of the structures. These conditions were observed and

documented on July 29, 2025 and remained uncorrected when the Premises were observed and documented on June 9, 2026, June 17, 2026, and July 1, 2026.

The structures are unsafe buildings within the meaning of Indiana Code § 36-7-9-4, in that each is a public nuisance per I.C. § 36-7-9-4(a)(4). The conditions described above are injurious to health, offensive to the senses, and an obstruction to the free use of neighboring property so as essentially to interfere with the comfortable enjoyment of life and property, and therefore constitute a public nuisance generally under Goshen City Code § 6.10.2.1(c); and the open soffit and eave conditions described in Section 2.B(2) constitute the permitting upon real property of a condition that attracts or may attract rodents, insects, and animals in such a manner as to create a health hazard and unsanitary condition under Goshen City Code § 6.10.2.1(c)(11). The conditions further violate the minimum standards for building condition and maintenance of the City of Goshen Neighborhood Preservation Ordinance, Goshen City Code § 6.3.1.1(bb).

Section 3.

You are hereby **ORDERED** to take the following actions to abate the public nuisance and the unsafe building conditions identified in Section 2 of this Order.

A. Abatement of Public Nuisance.

- 1) Remove from the Premises and lawfully dispose of all garbage, solid waste, and litter located outside a solid waste container, as described in Section 2.A(1), and thereafter keep the Premises and the area surrounding every solid waste container upon the Premises free of such accumulation.
- 2) Provide at the Premises a number of solid waste containers, and arrange a frequency of collection, sufficient to contain all solid waste generated at the Premises between collections, so that no solid waste is deposited or permitted to remain outside a container. Within the time allowed for compliance with this subsection, furnish the Building Commissioner with written confirmation from the solid waste hauler or haulers serving the premises or other adequate documentation identifying the number and size of the containers provided and the frequency of collection.
- 3) Remove from the Premises and lawfully dispose of all materials described in Section 2.A(2), or store all such materials fully enclosed within a lawful, permitted structure, so that no such accumulation remains exposed on the Premises.

B. Repair of Unsafe Building.

You are **ORDERED** to repair and rehabilitate the structures described in Section 2.B so as to eliminate all unsafe conditions and bring the structures into compliance with the applicable standards for building condition and

maintenance under the Goshen City Code and the Neighborhood Preservation Ordinance, including without limitation: (1) installing a complete and finished exterior wall and siding covering all exterior wall areas presently covered only by house wrap; (2) removing and replacing all torn, detached, or degraded house wrap, and repairing or replacing all damaged or deteriorated wall sheathing beneath it, before the finished wall and siding covering is installed; and (3) closing and enclosing all open soffit and eave assemblies so that the attic and wall cavities of the structures are sealed against the entry of water, birds, bats, rodents, and insects. All work required by this Section must include obtaining all required permits and passing all required inspections.

You are hereby **FURTHER ORDERED** to complete all action required by Section 3.A of this Order within twenty (20) days after notice of this Order is given; to make a substantial beginning toward the action required by Section 3.B of this Order within thirty (30) days after notice of this Order is given and complete all action required by Section 3.B within sixty (60) days after notice of this order is given.

Section 4.

You are hereby notified that failure to comply with this Order may result in the City of Goshen taking action to complete the required work and bill you for the costs of such work, including the actual costs of the work performed and an amount equal to the average processing expense the City will incur in pursuing this matter. Such amounts can become a lien upon the real estate and can ultimately be enforced in the same manner as any other judgment.

Section 5.

You are further notified that a hearing will be held before the Goshen Board of Public Works and Safety on **Thursday, September 3, 2026 at 4:00 p.m. (local time)**, or soon thereafter, for the purpose of reviewing the Order of the City of Goshen Building Commissioner. This hearing will be held in the Court Room / Council Chambers at 111 East Jefferson Street, Goshen, Indiana.

You have the right to appear at this hearing with or without counsel, to present evidence, cross-examine opposing witnesses, and present arguments. Should you fail to appear at the time set for the hearing, the hearing will be conducted in your absence.

The Goshen Board of Public Works and Safety will have the right to affirm, rescind, or modify this Order. The Goshen Board of Public Works and Safety may authorize the Building Commissioner to proceed with remedial action under Indiana Code § 36-7-9-10 or -11, or to proceed with civil action under Indiana Code § 36-7-9-17; may issue a continuous enforcement order under Indiana Code § 36-7-9-7(g) requiring that the Premises be maintained free of the conditions described in this order; may issue a civil penalty in an amount not to exceed Five Thousand Dollars (\$5,000.00) if it finds there has been a willful failure to comply with the Building Commissioner's Order; may impose a civil penalty of up

to Two Thousand Five Hundred Dollars (\$2,500.00) for each violation of the Public Nuisance Ordinance under Goshen City Code § 6.10.2.9; or take any other action permitted by law to abate the public nuisance and/or resolve the unsafe building conditions on the premises.

Section 6.

You are hereby notified that as a result of this Order being issued you may not transfer or agree to transfer any property interest in the parcel described in Section 1 of this Order, unless you have complied with all requirements of Indiana Code § 36-7-9-27 and Goshen City Code § 6.10.2.8, which are as follows:

1. You must supply full information regarding this Order to the person or persons taking or agreeing to take any interest in the parcel described in Section 1 of this Order.
2. You must supply in writing to the City of Goshen Building Department, within five (5) days of any actions to transfer the interest, the following:
 - a. The full name, address, and telephone number of the person or persons taking interest in the property described in Section 1 of this Order; and
 - b. A copy of the legal instrument under which the transfer of the interest is accomplished.

Section 7.

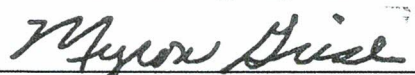
You are hereby notified that failure to comply with Section 6 of this Order may result in a judgment of liability against you in accordance with Indiana Code § 36-7-9-27.

Section 8.

This Order is issued by the City of Goshen Building Commissioner, Myron Grise, in accordance with the City of Goshen Public Nuisance Ordinance, the Indiana Unsafe Building Law, the Goshen City Building Code, and the City of Goshen Neighborhood Preservation Ordinance. The address of the Building Commissioner is 204 E. Jefferson Street, Suite 5, Goshen, Indiana 46528, and the telephone number is 574-534-1811.

This Order of the City of Goshen Building Commissioner is issued on August 3, 2026.

City of Goshen Building Department



Myron Grise, Building Commissioner

Certificate of Service

The undersigned hereby certifies that the foregoing Order of the City of Goshen Building Commissioner for the premises at 517-519 New York Street, Goshen, Indiana, was served by sending a copy by certified mail, return receipt requested and by regular first-class mail to the last known address of the following persons to be notified on August 3, 2026:

Unique Property Leasing, LLC
2000 Elkhart Road, Suite C
Goshen, Indiana 46526-1119

Blue Diamond Registered Agents, LLC
Registered Agent – Unique Property Leasing, LLC
2000 Elkhart Road, Suite C
Goshen, Indiana 46526



Donald R. Shuler, #26587-71
Assistant City Attorney
City of Goshen Legal Department
204 East Jefferson Street, Suite 2
Goshen, Indiana 46528

Exhibit A – Legal Description

A part of the recorded Plat of Lots Numbered One (1), Two (2), and Three (3) in Smoker-Miller Homes Addition to the City of Goshen, Indiana, as the same is known and designated in the official records of Elkhart County, Indiana, and more particularly described as follows:

Beginning at an iron stake marking the Southeast Corner of Lot Number Three (3) in said above described Addition; thence North 1 degree 14 minutes West along the West line of Ninth Street and the East line of said Lot Three (3), 97.06 feet; thence South 88 degrees 54 minutes West, 121 feet; thence North 1 degree 14 minutes West, .5 feet; thence South 88 degrees 54 minutes West 26.6 feet to the East line of a public alley and the West line of Lot Number One (1) in said Addition; thence South 1 degree 14 minutes East 94.4 feet to the North line of New York Street; thence due East along the North line of New York Street, 148 feet to the place of beginning of this description.

Said insured real estate is more particularly described as follows:

Beginning at an iron pipe found at the Southeast Corner of Lot Number Three (3) in Smoker-Miller Homes Addition to the City of Goshen; thence along the West right-of-way of Ninth Street and the East line of Lot Number 3, North 01 degree 14 minutes West, 97.01 feet (97.06 feet recorded) to an iron set; thence leaving said right of way, South 88 degrees 54 minutes 00 seconds West, 72.84 feet to an iron set; thence South 00 degrees 03 minutes 08 seconds East, 95.58 feet to an iron set on the North right-of-way of New York Street; thence with the North right-of-way of New York Street, North 90 degrees 00 minutes 00 seconds East, 74.82 feet to the point of beginning of this description.

ALSO:

A part of the recorded Plat of Lots Numbered One (1), Two (2), and Three (3) in Smoker-Miller Homes Addition to the City of Goshen, Indiana, as the same is known and designated in the official records of Elkhart County, Indiana, more particularly described as follows:

Beginning at an iron stake marking the Southeast Corner of Lot Number Three (3) in said above described Addition; thence North 1 degree 14 minutes West along the West line of Ninth Street and the East line of said Lot Three (3), 97.06 feet; thence South 88 degrees 54 minutes West, 121 feet; thence North 1 degree 14 minutes West, .5 feet; thence South 88 degrees 54 minutes West 26.6 feet to the East line of a public alley and the West line of Lot Number One (1) in said Addition; thence South 1 degree 14 minutes East, 94.4 feet to the North line of New York Street; thence due East along the North line of New York Street, 148 feet to the place of beginning of this description.

Said insured real estate is more particularly described as follows:

Beginning at an iron on the North right-of-way of New York Street and being the Southwest corner of Tract #1 (said point of being 74.82 feet West of the Southeast Corner of Lot #3 in Smoker-Miller Homes Addition to the City of Goshen); thence along the West line of Tract #1, North 00 degrees 03 minutes 08 seconds West, 95.58 feet to an iron set; thence South 88 degrees 54 minutes 00 seconds West, 48.66 feet to an iron set; thence North 01 degree 14 minutes 00 seconds West, 50 feet to an iron set; thence South 88 degrees 13 minutes 07 seconds West, 26.52 feet (South 88 degrees 54 minutes West, 26.6 feet recorded) to an iron set at the East line of an alley and the West line of Lot Number 1; thence with said line, South 01 degree 09 minutes 48 seconds East, 94.35 feet (South 01 degrees 14 minutes 94.4 feet recorded) to an iron pipe found on the North right-of-way of New York Street; thence North 90 degrees 00 minutes 00 seconds East 73.34 feet to the place of beginning of this description.



CITY OF GOSHEN · BOARD OF PUBLIC WORKS AND SAFETY

Staff Report

Public Nuisance & Unsafe Building Enforcement

517 / 519 New York Street, Goshen, Indiana

Order of the Building Commissioner dated August 3, 2026



PARCEL 20-11-15-306-008.000-015

OWNER Unique Property Leasing, LLC

HEARING September 3, 2026 · 4:00 p.m.



PART ONE

Background & Authority



THE PROPERTY

Property Information

LOCATION

517 and 519 New York Street, Goshen, IN 46528

Corner of New York Street and South 9th Street

Owner: Unique Property Leasing, LLC

Structures: Two (2) multi-unit apartment buildings





LEGAL FRAMEWORK

Two Bodies of Law, One Order



PUBLIC NUISANCE ORDINANCE

Goshen City Code § 6.10.2

- Ordinance 5240, Chapter 2 — prohibits having, maintaining, or allowing a public nuisance (§ 6.10.2.4).
- Reaches the uncontained solid waste, the debris accumulation, and the automobile panel.
- Notice incorporates IC 36-7-9-25 (§ 6.10.2.7); penalties to \$2,500 per violation (§ 6.10.2.9).



UNSAFE BUILDING LAW

Indiana Code § 36-7-9

- Governs the two residential structures — incomplete wall covering and open soffit assemblies.
- Each structure is unsafe under § 36-7-9-4(a)(4) as a public nuisance.
- Supplies the hearing, remedial, lien, and transfer-restriction mechanics.



The August 3, 2026 Order combines both regimes and routes review to the Board of Public Works and Safety.



PART TWO

Inspection Findings

Conditions documented on the property



Accumulation of Debris

§ 6.10.2.1(c)(1),(2),(4),(11) · Tarpaulin-covered debris, block, and rubble · Documented 7/29/2025



Accumulation Unchanged

§ 6.10.2.1(c)(1),(2),(4)

The same accumulation, in substantially the same location and condition, more than ten months later. The tarpaulins have deteriorated and a season's vegetation has grown up through and around the pile.

DOCUMENTED 6/9/2026



Detached Automobile Panel

§ 6.10.2.1(c)(5) · Body panel exposed upon the accumulation · Documented 7/29/2025



Solid Waste Not Contained

§ 6.10.2.1(c)(1),(4),(7) · Filled above the marked maximum loading level · Documented 6/9/2026



The Condition Recurs — Eight Days Later

§ 6.10.2.1(c)(1),(4),(7) · Again heaped above the maximum loading level · Documented 6/17/2026



Third Documented Recurrence

§ 6.10.2.1(c)(1),(4),(7),(11)

Twenty-two days after the first June observation, the condition has recurred a third time, with garbage spread across the lawn. The number of containers and the frequency of collection are insufficient to contain the waste the property generates between collections.

DOCUMENTED 7/1/2026



Exterior Wall Covering Incomplete

I.C. § 36-7-9-4(a)(4) · GCC § 6.3.1.1(bb) · Covered only by house wrap · Documented 7/29/2025



House Wrap Torn and Degraded

I.C. § 36-7-9-4(a)(4)

After more than a year of direct weather exposure, the house wrap is torn, detached, and degraded in multiple locations, exposing bare wall sheathing beneath. Standing alone it does not provide a weather-resistant exterior wall envelope.

DOCUMENTED 7/29/2025





Open Soffit and Eave Assemblies

§ 6.10.2.1(c)(11) · I.C. § 36-7-9-4(a)(4) · Rafter tails and eave cavities exposed · Documented 7/29/2025

The Debris Accumulation — Thirteen Months Apart



JULY 29, 2025



AUGUST 31, 2026

Same location, same concrete pad, same tarpaulins — now deteriorated, with siding and trim materials exposed and a sapling grown up through the pile.



Solid Waste — Condition Has Worsened

§ 6.10.2.1(c)(1),(4),(7) · Container heaped; garbage spread across the ground · Re-inspected 8/31/2026



Still Above the Maximum Loading Level

§ 6.10.2.1(c)(1),(4),(7) · Bagged and loose garbage in grass · Re-inspected 8/31/2026



No Work on the Wall Covering

I.C. § 36-7-9-4(a)(4)

Siding remains abandoned mid-installation, ending in a stepped edge across the elevation, with large areas of house wrap still exposed and cut around the windows. No permit has been issued and no work has been commenced.

RE-INSPECTED 8/31/2026



The House Wrap Has Failed

I.C. § 36-7-9-4(a)(4) · Wrap torn away; bare substrate exposed · Re-inspected 8/31/2026



Open Eaves and Exposed Wrap Remain

§ 6.10.2.1(c)(11) · I.C. § 36-7-9-4(a)(4) · Eave line open along its full run · Re-inspected 8/31/2026



PART FOUR

The Board's Decision

Reviewing the Building Commissioner's Order



THE ORDER

What the Building Commissioner Order Required

1

Abate the Nuisance

Remove all garbage and litter outside a container; remove or fully enclose the debris accumulation and the automobile panel.

2

Fix the Capacity

Provide enough containers and frequent enough collection to contain all waste between pickups — and document it to the Building Commissioner.

3

Repair the Structures

Install a complete finished wall covering, replace degraded wrap and sheathing, and close all open soffit and eave assemblies.



STATUS OF COMPLIANCE

Where Each Requirement Stands

§ 3.A(1) — Remove waste and litter

Due Aug 26, 2026

Not done — condition worse than June

§ 3.A(2) — Container capacity and collection

Due Aug 26, 2026

Not done — no documentation furnished

§ 3.A(3) — Debris accumulation removed or enclosed

Due Aug 26, 2026

Not done — accumulation unchanged

§ 3.B — Substantial beginning on repairs

Due Sept 5, 2026

No work; no permit issued — not yet due



Nothing required by Section 3.A was done within the time allowed, and no contact was made with the City.



STAFF RECOMMENDATION

Adopt the Proposed Findings and Order

Staff recommends the Board adopt the proposed Findings and Order for 517/519 New York Street. The Findings and Order would:

- 1. Findings** — affirm the Building Commissioner's August 3, 2026 Order: the conditions constitute a public nuisance under Goshen City Code § 6.10.2.4, rendering the parcel unsafe premises under § 6.10.2.10 and I.C. § 36-7-9-4(b)(2)(C), and each residential structure is an unsafe building under I.C. § 36-7-9-4(a)(4);
- 2. Willful failure to comply** — find specifically that Owner's failure to comply with Section 3.A was willful, and impose a civil penalty under I.C. § 36-7-9-7(e) with its effective date postponed pending compliance;
- 3. Continuous enforcement order** — issue Order requiring abatement of the public nuisance and completion of repairs to the residential structures by October 4, 2026;
- 4. Review hearing** — set a review hearing for Thursday, October 8, 2026 to determine progress and compliance with the Order.

Suggested motion — *“I move to affirm the Building Commissioner's Order, adopt the proposed Findings and Order including the finding that the failure to comply was willful, require abatement and repairs, and set a review hearing for October 8, 2026.”*

**CITY OF GOSHEN BOARD OF PUBLIC WORKS AND SAFETY
UNSAFE BUILDING/PUBLIC NUISANCE HEARING AUTHORITY
CONTINUOUS ENFORCEMENT ORDER**

September 3, 2026

IN RE: Violation of Goshen City Code

Property Address: 517/519 New York Street

Property Tax Code: 20-11-15-306-008.000-015

Property Owner: Unique Property Leasing, LLC

The Order of the City of Goshen Building Commissioner dated August 3, 2026 (hereinafter the “Order”), concerning the real property commonly known as 517-519 New York Street, Goshen, Indiana, said real estate more particularly described in **Exhibit A** (the “Real Estate”), came before the Hearing Authority on September 3, 2026, for hearing and a decision as to whether the Order should be affirmed, rescinded, or modified, all in accordance with the provisions of the Indiana Unsafe Building Law, the City of Goshen Neighborhood Preservation Ordinance, and the City of Goshen Public Nuisance Ordinance.

During the hearing, the Goshen Building Department presented its Staff Report, consisting of evidence, testimony, and argument concerning the condition of the accessory structure on the Real Estate as well as the overall condition of the premises at the Real Estate.

- ☐ Owner and/or an Owner’s representative was present during the hearing, and presented evidence, testimony, and argument concerning the condition of the accessory structure on the Real Estate and the overall condition of the premises at the Real Estate.

- ☐ Owner and/or an Owner’s representative did not appear for the hearing.

Findings:

After consideration of the evidence and testimony presented, the Hearing Authority finds that the Building Commissioner's Order is supported by substantial evidence. The conditions at the Real Estate, including the uncontained accumulation of solid waste, garbage, and litter; the accumulation of building materials, concrete block, and rubble; each constitute a public nuisance under Goshen City Code § 6.10.2.4. Pursuant to Goshen City Code § 6.10.2.10 and I.C. § 36-7-9-4(b)(2)(C), the existing of a public nuisance upon the Real Estate renders the Real Estate an unsafe premise within the meaning of the Indiana Unsafe Building Law. Therefore, each of the residential structures on the Real Estate is an unsafe building under I.C. § 36-7-9-4(a)(4). The Hearing Authority specifically adopts Section 2 of the Order, as well as the Staff Report and Analysis presented during the hearing, as its Findings.

The Hearing Authority further finds that Owner's failure to comply with Section 3.A of the Order was willful. Owner did not contact the City nor request additional time. The action required by Section 3.A – removal of garbage, litter and an accumulation of debris, and arrangement of adequate container capacity – required no permit, no contractor, and no extraordinary expense. The debris accumulation has remained on the real estate since July 29, 2025, and upon re-inspection on August 31, 2026, the conditions described in Section 2.A of the Order remained unabated. Owner's failure to comply was not the result of inability or mistake, but of a decision not to act.

(Additional Findings, if any):

Order:

The public nuisance and unsafe building determinations and findings of the City of Goshen Building Commissioner's Order are hereby AFFIRMED in their entirety, and the Order remains in full force and affect.

1. This Order shall serve as a Continuous Enforcement Order pursuant to I.C. § 36-7-9-2.
2. Owner is hereby ordered to abate the public nuisance by removing from the Real Estate and lawfully disposing of all accumulated garbage, solid waste, and litter

located outside a solid waste container, as described in Section 2.A.1 of the Building Commissioner's Order, and thereafter keep the Real Estate and the area surrounding every solid waste container upon the Real Estate free of such accumulation. Owner is further ordered to provide at the Real Estate a number of solid waste containers and arrange a frequency of collection sufficient to contain all solid waste generated at the Real Estate between collections, so that no solid waste is deposited or permitted to remain outside such container(s). Owner is further Ordered to repair and rehabilitate the structures described in Section 2.B of the Building Commissioner's Order so as to eliminate all unsafe conditions and bring the structures into compliance with the applicable standards for building condition and maintenance under Goshen City Code and the Neighborhood Preservation Ordinance, including without limitation: (1) installing a complete and finished exterior wall and siding covering all exterior wall areas presently covered only by house wrap; (2) removing and replacing all torn, detached, or degraded house wrap, and repairing or replacing all damaged or deteriorated wall sheathing beneath it, before the finished wall and siding covering is installed; and (3) closing and enclosing all open soffit and eave assemblies so that the attic and wall cavities of the structures are sealed against the entry of water, birds, bats, rodents, and insects; with all such work to include obtaining required permits and passing required inspections.

3. Owner must maintain the Real Estate free of any further accumulation of garbage, junk, debris, tires, or other materials constituting a public nuisance.
4. Owner shall complete all work required by Section 3.A and 3.B of the Building Commissioner's Order (and Paragraph No. 2 of this Continuous Enforcement Order) by October 4, 2026.
5. Pursuant to I.C. § 36-7-9-7(e), a civil penalty in the amount of Two Thousand Five Hundred Dollars (\$2,500.00) is hereby imposed upon the owner for Owner's willful failure to comply with Sections 3.A and 3.B of the Building Commissioner's Order. The effective date of this civil penalty is postponed to October 8, 2026. If the Hearing Authority is satisfied on or before that date that all work necessary to fully comply with the Order has been completed, or that substantial good faith efforts have been to complete all such work, the Hearing Authority may order the civil penalty reduced or stricken.
6. The Hearing Authority expressly reserves continuing jurisdiction over this matter, including the authority under I.C. § 36-7-9-7(e) to reduce or strike any civil penalty imposed above and impose one (1) or more additional civil penalties not exceeding Five Thousand Dollars (\$5,000.00) each.
7. This matter is scheduled for hearing to review compliance with this Order before the Goshen Board of Public Works and Safety on **October 8, 2026 at 4:00 p.m.**

(local time), or as soon thereafter as this matter may be heard, in the Court Room / Council Chambers at 111 East Jefferson Street, Goshen, Indiana.

8. This order constitutes a final administrative decision, and Owner and/or Land Contract Purchaser has the right to appeal these findings of fact and this Continuous Enforcement Order to the Elkhart Circuit or Superior Court by filing a verified complaint within ten (10) days of the date of this action; failure to file a verified complaint within the specified time forfeits any appeal rights.
9. Per I.C. § 36-7-9-27, if Owner and/or Land Contract Purchaser transfers its interest or any portion of its interest in the Real Estate affected by this Continuous Enforcement Order to another person, Owner and/or Land Contract Purchaser must supply the other person with full information regarding this Continuous Enforcement Order prior to transferring that interest or agreeing to transfer that interest. Further, within five (5) business days after transferring that interest or agreeing to transfer a substantial property interest in the Real Estate, Owner and/or Land Contract Purchaser must supply the City of Goshen Building Commissioner with the full name, address, and telephone number of the other person taking a substantial property interest in the Real Estate, along with written copies of the agreement to transfer the interest or copies of the document actually transferring the interest. Should the Owner and/or Land Contract Purchaser fail to comply with these provisions, then Owner and/or Land Contract Purchaser may be liable to the City of Goshen for any damage that the City of Goshen may suffer in the event that a judgment is entered against it by the other person to whom the transfer is made.

This CONTINUOUS ENFORCEMENT ORDER of the City of Goshen Board of Public Works and Safety, memorializing the Hearing Authority's action of September 3, 2026, is issued on September 3, 2026.

IT IS SO ORDERED.

City of Goshen Board of Public Works and Safety

By: _____
Gina M. Leichthy, Mayor

STATE OF INDIANA)
) SS:
COUNTY OF ELKHART)

Before me the undersigned, a Notary Public in and for said County and State, personally appeared the City of Goshen Board of Public Works and Safety by Gina M. Leichty, Mayor, and acknowledged execution of the foregoing Order on September 3, 2026.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public

This instrument was prepared by Donald R. Shuler, Attorney No. 26587-71, City of Goshen Legal Department, 204 East Jefferson Street, Suite 2, Goshen, Indiana 46528, Ph: 574.537.3820.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document unless required by law (Donald R. Shuler).

Exhibit A – Legal Description

A part of the recorded Plat of Lots Numbered One (1), Two (2), and Three (3) in Smoker-Miller Homes Addition to the City of Goshen, Indiana, as the same is known and designated in the official records of Elkhart County, Indiana, and more particularly described as follows:

Beginning at an iron stake marking the Southeast Corner of Lot Number Three (3) in said above described Addition; thence North 1 degree 14 minutes West along the West line of Ninth Street and the East line of said Lot Three (3), 97.06 feet; thence South 88 degrees 54 minutes West, 121 feet; thence North 1 degree 14 minutes West, .5 feet; thence South 88 degrees 54 minutes West 26.6 feet to the East line of a public alley and the West line of Lot Number One (1) in said Addition; thence South 1 degree 14 minutes East 94.4 feet to the North line of New York Street; thence due East along the North line of New York Street, 148 feet to the place of beginning of this description.

Said insured real estate is more particularly described as follows:

Beginning at an iron pipe found at the Southeast Corner of Lot Number Three (3) in Smoker-Miller Homes Addition to the City of Goshen; thence along the West right-of-way of Ninth Street and the East line of Lot Number 3, North 01 degree 14 minutes West, 97.01 feet (97.06 feet recorded) to an iron set; thence leaving said right of way, South 88 degrees 54 minutes 00 seconds West, 72.84 feet to an iron set; thence South 00 degrees 03 minutes 08 seconds East, 95.58 feet to an iron set on the North right-of-way of New York Street; thence with the North right-of-way of New York Street, North 90 degrees 00 minutes 00 seconds East, 74.82 feet to the point of beginning of this description.

ALSO:

A part of the recorded Plat of Lots Numbered One (1), Two (2), and Three (3) in Smoker-Miller Homes Addition to the City of Goshen, Indiana, as the same is known and designated in the official records of Elkhart County, Indiana, more particularly described as follows:

Beginning at an iron stake marking the Southeast Corner of Lot Number Three (3) in said above described Addition; thence North 1 degree 14 minutes West along the West line of Ninth Street and the East line of said Lot Three (3), 97.06 feet; thence South 88 degrees 54 minutes West, 121 feet; thence North 1 degree 14 minutes West, .5 feet; thence South 88 degrees 54 minutes West 26.6 feet to the East line of a public alley and the West line of Lot Number One (1) in said Addition; thence South 1 degree 14 minutes East, 94.4 feet to the North line of New York Street; thence due East along the North line of New York Street, 148 feet to the place of beginning of this description.

Said insured real estate is more particularly described as follows:

Beginning at an iron on the North right-of-way of New York Street and being the Southwest corner of Tract #1 (said point of being 74.82 feet West of the Southeast Corner of Lot #3 in Smoker-Miller Homes Addition to the City of Goshen); thence along the West line of Tract #1, North 00 degrees 03 minutes 08 seconds West, 95.58 feet to an iron set; thence South 88 degrees 54 minutes 00 seconds West, 48.66 feet to an iron set; thence North 01 degree 14 minutes 00 seconds West, 50 feet to an iron set; thence South 88 degrees 13 minutes 07 seconds West, 26.52 feet (South 88 degrees 54 minutes West, 26.6 feet recorded) to an iron set at the East line of an alley and the West line of Lot Number 1; thence with said line, South 01 degree 09 minutes 48 seconds East, 94.35 feet (South 01 degrees 14 minutes 94.4 feet recorded) to an iron pipe found on the North right-of-way of New York Street; thence North 90 degrees 00 minutes 00 seconds East 73.34 feet to the place of beginning of this description.



CITY OF GOSHEN LEGAL DEPARTMENT
Donald R. Shuler, Assistant City Attorney

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Phone (574) 537-3855 • Fax (574) 533-8626 • TDD (574) 534-3185

September 3, 2026

To: Board of Public Works and Safety

From: Don Shuler, Assistant City Attorney

Subject: Review – 1006 Zollinger Road – Building Commissioner Order

The Board held a hearing for this property on July 9, 2026. At the conclusion of the hearing, the Board affirmed the finding of the vacant residential structure on the Real Estate as an unsafe building, and entered an Order requiring the property owner to clean up the exterior by August 9, 2026, make reasonable progress either in attempting to sell the Real Estate or make internal repairs to the unsafe structure, and to maintain good communication with the Building Commissioner. The Board's Order set the matter for a review hearing on September 3, 2026.

The purpose of the Board's hearing is to determine if there have been reasonable efforts to comply with the Board's Order.

Attached for the Board's reference is the July 9, 2026 Order, the Staff Report that will be presented at the hearing, and the Staff's recommended proposed Order.

**CITY OF GOSHEN BOARD OF PUBLIC WORKS AND SAFETY
UNSAFE BUILDING HEARING AUTHORITY
CONTINUOUS ENFORCEMENT ORDER**

July 9, 2026

IN RE: Violation of Goshen City Code

Property Address: 1006 Zollinger Road

Property Tax Code: 20-11-03-401-003.000-015

Property Owner: J Bowers, LLC

The Order of the City of Goshen Building Commissioner dated June 12, 2026 (hereinafter the "Order"), concerning the real property commonly known as 1006 Zollinger Road, Goshen, Indiana, and more particularly described as follows:

A part of the Southeast Quarter of Section 3, Township 36 North, Range 6 East, more particularly described as follows:

Beginning at the point on the West line of said Southeast Quarter which is 673.85 feet South (assumed) of the Northwest corner thereof; thence North 89°30' East, 200 feet; thence due North, 128.70 feet; thence South 89°30' West, 200 feet to the West line of the aforesaid quarter section and Zollinger Road; thence due South along the West line of said quarter section and Zollinger Road, 128.70 feet to the place of beginning.

(hereinafter the "Real Estate"), came before the Hearing Authority on July 9, 2026, for hearing and a decision as to whether the Order should be affirmed, rescinded, or modified, all in accordance with the provisions of the Indiana Unsafe Building Law and the City of Goshen Neighborhood Preservation Ordinance.

During the hearing, the Goshen Building Department presented its Staff Report, consisting of evidence, testimony, and argument concerning the condition of the residential structure located at the Real Estate. Jeff Bowers of J Bowers, LLC ("Owner"), was present during the hearing and presented evidence, testimony, and argument concerning the condition of the residential structure located at the Real Estate.

Findings:

After consideration of the evidence and testimony presented, the Hearing Authority finds that the Building Commissioner's Order is supported by substantial evidence. The residential structure on the Real Estate is an unsafe structure under Indiana law. The Hearing Authority specifically adopts Section 2 of the Order, as well as the Staff Report and Analysis presented during the hearing, as its Findings.

The Hearing Authority further finds that good cause exists to modify the compliance schedule established by the Order. Owner has begun work on cleaning up the subject Real Estate and its residential structure, and has indicated plans to continue work and potentially sell the Real Estate.

Order:

The unsafe building determination and findings established by the City of Goshen Building Commissioner's Order are hereby **AFFIRMED**. The compliance schedule established by the Order is MODIFIED as set forth in Paragraph 2 below; in all other respects the Order is affirmed and remains in full force and effect.

1. This Order shall serve as a Continuous Enforcement Order pursuant to I.C. § 36-7-9-2.
2. Owner is hereby ordered to:
 - a. Complete all exterior repairs and clean up of the subject Real Estate by August 9, 2026.
 - b. Demonstrate substantial progress on internal repairs and/or pursuing the sell of the Real Estate to a party with capacity to complete required repairs to the residential structure on the Real Estate by August 23, 2026.
 - c. Maintain good and consistent communication with the Building Commissioner as to progress and efforts made in this matter.
3. This matter is scheduled for hearing to review compliance with this Order before the Goshen Board of Public Works and Safety on September 3, 2026 at 4:00 p.m. (local

time), or as soon thereafter as this matter may be heard, in the Court Room / Council Chambers at 111 East Jefferson Street, Goshen, Indiana.

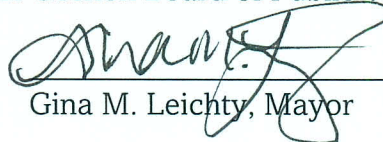
4. This order constitutes a final administrative decision, and Owner and/or Land Contract Purchaser has the right to appeal these findings of fact and this Continuous Enforcement Order to the Elkhart Circuit or Superior Court by filing a verified complaint within ten (10) days of the date of this action; failure to file a verified complaint within the specified time forfeits any appeal rights.
5. Per I.C. § 36-7-9-27, if Owner and/or Land Contract Purchaser transfers its interest or any portion of its interest in the Real Estate affected by this Continuous Enforcement Order to another person, Owner and/or Land Contract Purchaser must supply the other person with full information regarding this Continuous Enforcement Order prior to transferring that interest or agreeing to transfer that interest. Further, within five (5) business days after transferring that interest or agreeing to transfer a substantial property interest in the Real Estate, Owner and/or Land Contract Purchaser must supply the City of Goshen Building Commissioner with the full name, address, and telephone number of the other person taking a substantial property interest in the Real Estate, along with written copies of the agreement to transfer the interest or copies of the document actually transferring the interest. Should the Owner and/or Land Contract Purchaser fail to comply with these provisions, then Owner and/or Land Contract Purchaser may be liable to the City of Goshen for any damage that the City of Goshen may suffer in the event that a judgment is entered against it by the other person to whom the transfer is made.

This CONTINUOUS ENFORCEMENT ORDER of the City of Goshen Board of Public Works and Safety, memorializing the Hearing Authority's action of July 9, 2026, is issued on July 10, 2026.

IT IS SO ORDERED.

City of Goshen Board of Public Work and Safety

By:

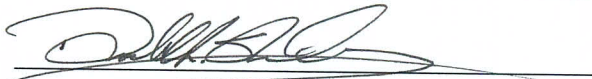


Gina M. Leichthy, Mayor

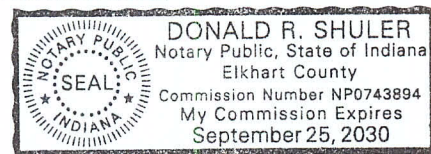
STATE OF INDIANA)
) SS:
COUNTY OF ELKHART)

Before me the undersigned, a Notary Public in and for said County and State, personally appeared the City of Goshen Board of Public Works and Safety by Gina M. Leichthy, Mayor, and acknowledged execution of the foregoing Order on July 10, 2026.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



Notary Public



This instrument was prepared by Donald R. Shuler, Attorney No. 26587-71, City of Goshen Legal Department, 204 East Jefferson Street, Suite 2, Goshen, Indiana 46528, Ph: 574.537.3820.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document unless required by law (Donald R. Shuler).



**Building Department
CITY OF GOSHEN**

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STAFF REPORT TO THE BOARD OF PUBLIC WORKS AND SAFETY

Unsafe Building Enforcement — Compliance Review

September 3, 2026

Re: 1006 & 1008 Zollinger Road, Goshen, Indiana

Parcel No.: 20-11-03-401-003.000-015

Owner: J Bowers, LLC

Status:

On July 9, 2026, the Board affirmed the Building Commissioner's determination that the residential structure on the Real Estate is unsafe. Since that time, the owner has cleaned and generally maintained the exterior of the property. A "For Sale by Owner" sign is posted, and the Department has received information from a third party indicating that a purchase agreement for the Real Estate has been executed, although the owner has not confirmed this to the Department as of August 31, 2026. No building permits have been issued, and Staff has no indication that interior repairs have begun. On balance, the matter appears to be progressing toward resolution through sale of the Real Estate.

Recommendation:

Staff recommends that the Board table this matter for further review until October 29, 2026, and enter an Order requiring the owner to:

- (a) maintain the exterior of the Real Estate in compliance with Goshen City ordinances;
- (b) continue efforts to sell the Real Estate or make substantial progress on necessary internal repairs; and
- (c) provide bi-weekly updates to the Goshen Building Department.

In all other respects, the Board's July 9, 2026 Order remains in full force and effect.

Recommended Motion:

Move to adopt the Staff recommendations, table the matter concerning 1006 & 1008 Zollinger Road for further review until October 29, 2026, and to adopt the proposed Tabling Order.

**CITY OF GOSHEN BOARD OF PUBLIC WORKS AND SAFETY
UNSAFE BUILDING HEARING AUTHORITY
TABLING ORDER**

September 3, 2026

IN RE: Violation of Goshen City Code

Property Address: 1006 Zollinger Road

Property Tax Code: 20-11-03-401-003.000-015

Property Owner: J Bowers, LLC

The Order of the City of Goshen Building Commissioner dated June 12, 2026, and the Hearing Authority Record of Action and Continuous Enforcement Order dated July 9, 2026 (hereinafter, collectively, the “Order”), concerning the real property commonly known as 1006 Zollinger Road, Goshen, Indiana, and more particularly described as follows:

A part of the Southeast Quarter of Section 3, Township 36 North, Range 6 East, more particularly described as follows:

Beginning at the point on the West line of said Southeast Quarter which is 673.85 feet South (assumed) of the Northwest corner thereof; thence North 89°30' East, 200 feet; thence due North, 128.70 feet; thence South 89°30' West, 200 feet to the West line of the aforesaid quarter section and Zollinger Road; thence due South along the West line of said quarter section and Zollinger Road, 128.70 feet to the place of beginning.

(hereinafter the “Real Estate”), came before the Hearing Authority on September 3, 2026, for a hearing and a decision as to whether the Order should be affirmed, rescinded, or modified, all in accordance with the provisions of the Indiana Unsafe Building Law and the City of Goshen Neighborhood Preservation Ordinance.

The Hearing Authority received testimony and evidence from the City of Goshen Building Department.

- ☐ Owner and/or an Owner's representative was present during the hearing, and presented evidence, testimony, and argument concerning the condition of the residential structure on the Real Estate, the overall condition of the premises at the Real Estate, and its compliance status in regards to the Hearing Authority's July 9, 2026 Continuous Enforcement Order.
- ☐ Owner and/or an Owner's representative did not appear for the hearing.

Based on the testimony, evidence, and information from the hearing, the Hearing Authority makes the following findings:

1. The Unsafe Building at the Real Estate is still unsafe and has not been brought into compliance with Goshen City Code.
2. Owner cleaned up the exterior of the Real Estate by August 9, 2026.
3. The interior of the residential structure on the Real Estate is in substantially the same condition.
4. Owner has listed the Real Estate for sale and has actively pursued the sale of the Real Estate.

Considering these findings, the Hearing Authority now ORDERS:

1. This matter, specifically whether the Order should be affirmed, rescinded, or further modified, is set for further review on **October 29, 2026 at 4:00 p.m. (local time)**, or as soon thereafter as this matter may be heard, in the Council Chambers at 111 East Jefferson Street, Goshen, Indiana.
2. Owner must continue to maintain the exterior of the Real Estate in compliance with Goshen City Code and Ordinances.

3. The Property Owner must continue efforts to sell the Real Estate or make substantial progress on necessary internal repairs to the residential structure on the Real Estate, and must provide bi-weekly updates to the Goshen Building Department.

SO ORDERED on September 3, 2026, and signed this September 3, 2026.

City of Goshen Board of Public Works and Safety

By: _____
Gina M. Leichty, Mayor

STATE OF INDIANA)
) SS:
COUNTY OF ELKHART)

Before me the undersigned, a Notary Public in and for said County and State, personally appeared the City of Goshen Board of Public Works and Safety by Gina M. Leichty, Mayor, and acknowledged execution of the foregoing Order on September 3, 2026.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public

This instrument was prepared by Donald R. Shuler, Attorney No. 26587-71, City of Goshen Legal Department, 204 East Jefferson Street, Suite 2, Goshen, Indiana 46528, Ph: 574.537.3820.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document unless required by law (Donald R. Shuler).